

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** February 22, 2023

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of a Design Review Permit and a Non-Conforming Use Permit, for a 895 sq. ft., new second story addition to an existing 1,445 sq. ft., non-conforming, single-family residence with a proposed detached 377 sq. ft., 2-car garage on a 9,377 sq. ft. non-conforming parcel which is bifurcated by City and County of San Francisco Water Right of Way. A Non-Conforming Use Permit is required to allow a major remodel (greater than 50% valuation) to a non-conforming residence with an existing 3-foot front setback where 20 foot is the minimum. No significant trees are proposed for removal.

County File Number: PLN 2021-00189 (Bucciarelli)

**PROPOSAL**

The applicant is proposing to construct a second story addition on a non-conforming 9,377 sq. ft. parcel. The project requires a Design Review Permit and a Non-Conforming Use Permit (Use Permit) to allow a major remodel to a non-conforming structure with non-conformities which exceed 50% of zoning requirements and a 6.6-foot right side setback for the second story addition. The existing structure has a 3.74-foot front setback where 20 ft. is required. The proposed second story will comply with the 20-foot front setback and but proposes a non-conforming 6.6-foot right side yard surrounding parcels are of conforming and non-conforming sizes and are also developed with single-family residences.

**RECOMMENDATION**

That the Planning Commission approve the Design Review Permit and Non-Conforming Use Permit by making the required findings and adopting the recommended conditions of approval as shown on Attachment A of the staff report.

**SUMMARY**

The applicant proposed a second story addition and remodel which exceeds 50% of the value of the existing house, qualifying the project as a major remodel. The residence on site is non-conforming and has an existing front setback of 3.74 feet where 20 feet is the

minimum (less than 50% of the minimum zoning standard) and a non-conforming combined side setback (10.37 feet where 20 feet is the minimum). The proposed side yard will conform on the left side at 7.5 feet but encroach on the right side at 6.6 feet. The proposed development can be allowed with the approval of a Non-Conforming Use Permit, per Section 6135 of the Zoning Regulations. A Non-Conforming Use Permit is necessary to allow a major remodel to this development, retain the existing front yard setback, and allow the second story to have a non-conforming 6.6-foot right side yard.

Review of the proposal indicates that the findings can be made for the Non-Conforming Use Permit based on the following:

- a. The development is proportioned in size as it complies with allowed lot coverage and floor area and the structure will not encroach further into required setbacks. The nonconformities are existing, and the new exceptions are minor in scale, and the resulting residence is proportional for the parcel.
- b. No opportunities to acquire additional land exist. One parcel is privately owned and developed with single-family residence and the second is a SFPUC utility and access easement and not available.
- c. The proposed development is as nearly in conformance as is reasonably possible, as described in Section A.2 of this report, the proposal requires relief from one requirement of the RH Zoning District, the right-side setback for the new second story and continuation of a non-conforming front setback. The majority of the project's non-conformity is existing, and the addition matches an existing, side setback.
- d. The proposal will not be detrimental to the public welfare or injurious to property or improvements, due to project adherence to Emerald Lake Hills Design Review Standards; has been reviewed and recommended for approval by the Emerald Lake Hills Design Review Officer; and no concerns were raised by reviewing agencies such as the Building Section, Department of Public Works or Cal-Fire.
- e. The majority of nonconformities are existing and Non-Conforming Use Permits are often utilized by property owners adjacent to the SFPCU ROW to address development constraints, therefore no special privileges are being granted.

The parcel is zoned RH/DR (Residential Hillside/Design Review), and therefore requires a Design Review Permit. The project was heard a hearing by the Emerald Lake Hills Design Review Officer (DRO) on June 7, 2022 and recommended for approval. The DRO found that the proposed house design, as proposed and conditioned, is in compliance with the Design Review Standards because the project: (a) incorporates materials which comply with the Design Review Standards, (b) has a building shape

minimizes bulk by varying building height and use of a variety of geometric shape planes (c) facades are proportioned and patterned, and (d) respects privacy of neighboring houses.

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**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** February 22, 2023

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Design Review Permit and a Non-Conforming Use Permit, pursuant to Sections 6565.3 and 6137 of the San Mateo County Zoning Regulations, respectively, for a 895 sq. ft., new second-story addition to an existing 1,445 sq. ft., non-conforming, single-family residence on a 9,377 sq. ft. non-conforming parcel which is bifurcated by City and County of San Francisco Water Right-of-Way, located at 2110 Hillcrest Drive in the unincorporated Emerald Lake Hills area of San Mateo County. A Non-Conforming Use Permit is required to allow a major remodel (greater than 50% valuation) to a non-conforming residence with an existing 3-foot front setback where 20 foot is the minimum. No significant trees are proposed for removal. In conjunction with the consideration of the requested permits, it is recommended that the Planning Commission determine that the project is categorically exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301.

County File Number: PLN 2021-00189 (Bucciarelli)

**PROPOSAL**

The applicant proposes to construct a second story addition on an existing non-conforming, single-family residence located on a non-conforming 9,377 sq. ft. parcel, where 12,000 sq. ft. is the minimum parcel size. The parcel is bifurcated by a 60-foot wide portion of San Francisco Water (SFPUC) Right-of-Way (ROW). The project requires a Design Review Permit and a Non-Conforming Use Permit (Use Permit) to allow a major remodel/addition with a 6.6-foot right side setback to a non-conforming structure with existing substantially non-conforming setbacks.

The development on the site currently has a non-conforming parking situation, but a detached 2-car garage has been approved. The existing structure has a 3.74-foot front setback where a 20-foot front setback is required. The proposed second story would comply with the 20-foot front setback and the minimum 7.5-foot left side setback but proposes a non-conforming 6.6-foot right side yard. Surrounding parcels are of conforming and non-conforming sizes and are also developed with single-family residences.

## **RECOMMENDATION**

That the Planning Commission approve the Design Review Permit and Non-Conforming Use Permit for County File Number PLN 2021-00189, based on and subject to the required findings and conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Erica Adams, Project Planner

Applicant: Mark Bucciarelli

Owner: Bayangos Dean Lyndon Trust c/o Erwin and Lorelle Medios

Public Notification: Ten (10) day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing posted in a newspaper (San Mateo Times) of general public circulation

Location: 2110 Hillcrest Drive, Emerald Lake Hills

APN(s) and Size: The 2 sections of the 9,377 sq. ft. parcel have separate APNs:

- 058-262-010 (Southern portion with house; 6861 square feet)
- 058-262-050 (Northern undeveloped portion; 2516 square feet)

Existing Zoning: RH/DR (Residential Hillside/Design Review)

General Plan Designation: Medium Low Density Residential/Urban

Sphere-of-Influence: City of Redwood City

Existing Land Use: Single-Family Residential

Water Supply: City of Redwood City Municipal Water Department

Sewage Disposal: Emerald Lakes Sewer District

Flood Zone: Zone X, Panel Number 06081C0282E, Effective Date: October 16, 2012

Environmental Evaluation: This project is exempt from environmental review pursuant to the CEQA Guidelines, Section 15301, Class 1, relating to existing facilities up to 10,000 square feet. The exemption includes additions to a single-family residence in a residential zone, in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive. The property is located in an established residential community and is served by public water and sewer districts.

Setting: The subject parcel is located in the residential community of Emerald Lake Hills. The parcel and surrounding parcels are developed with single family residences, with the exception of a San Francisco Water ROW which bifurcates the original parcel in addition to many surrounding parcels.

Chronology:

<u>Date</u>	<u>Action</u>
June 9, 2021	- Application submitted
February 2, 2022	- Revised plans submitted which address legal determination that the RH zoning setbacks are required due to the ROW not being considered a utility easement, but an access easement.
April 17, 2022	- Project deemed complete
June 7, 2022	- Emerald Lake Hills Design Review hearing. Project recommended for approval
February 22, 2023	- Planning Commission hearing

## **DISCUSSION**

### A. KEY ISSUES

#### 1. Conformance with the General Plan

The General Plan Visual Quality Policy 4.4 requires urban development to “promote aesthetically pleasing development.” The General Plan then calls for the establishment of guidelines for communities to achieve these goals. The establishment of the Design Review (DR) Zoning District, Section 6565 of the San Mateo County Zoning Regulations, is the mechanism that fulfills this directive. A project that complies with the Emerald Lake Hills Design Standards (Section 6565.15 of the San Mateo County Zoning Regulations) therefore conforms to the General Plan Policies 4.14 (*Appearance of New Development*) and 4.35 (*Urban Area Design Concept*). These policies require structures to promote and enhance good design, as well as improve the appearance and visual character of development in the area by managing the location and appearance of the structure. The project has been reviewed by the Emerald Lake Hills Design Review Officer and has been found to be in compliance with the Design Review Standards for Emerald Lake Hills. A detailed discussion is provided in Section A.3 of this report.

2. Conformance with the Zoning Regulations

A summary of project conformance with the requirements of the Residential Hillside (RH) Zoning District is provided in the table below:

Development Standard	Zoning Requirement	Existing	Proposed
Minimum Building Site Area	12,000 sq. ft. for slope of 8%	South Portion- 6,861 sq. ft. North Portion - 2,516 sq. ft. Total area 9,377 8% slope	No change
Minimum Building Site Width	50 ft.	78.24 ft.	No change
•Minimum Setbacks Front	20 ft.	3.74 ft.	20 ft. 2nd floor 1 <sup>st</sup> floor – No change
• Rear	20 ft.	96 ft. (approx.)	No change
• Sides	Combined total of 20 feet with a minimum of 7.5 ft. on each side	Left side 4.4 ft. Right side 5.95 ft. Combined 10.35	Left side 2 <sup>nd</sup> floor - 7.5 ft. Right side 2 <sup>nd</sup> floor - 6.6 ft.* No change to combined total No change to 1 <sup>st</sup> floor
Maximum Lot Coverage	25% or 2,344 sq. ft.	19.5% or 1,828 sq. ft.	24.1% or 2,344 (Includes garage)
Maximum Building Floor Area	30% or 2,400 sq. ft., whichever is greater	16.9% or 1,643 sq. ft.	27.9 % or 2,717 sq. ft. (Includes garage)
Maximum Building Height	28 ft.	22 ft.	28 ft.
Minimum Parking	2 covered spaces and 2 uncovered guest spaces	0 covered spaces and 2 uncovered guest spaces	2 covered spaces with proposed 2-car detached garage and 2 uncovered guest spaces
* Non-conformity is addressed by the Use Permit application.			

The existing residence, built in 1920, was constructed prior to the adoption and implementation of current zoning regulations, and therefore does not conform to the minimum side setback and combined side setback of the RH Zoning. In addition, the SFPUC ROW which bisects the property creates an irregular parcel shape and non-compliant setbacks. New development is required to conform to current zoning unless a Non-Conforming Use Permit is granted. The requested Non-Conforming Use Permit is necessary to allow a major remodel/addition where there is a significant existing zoning non-conformity (specifically, the existing front setback violates the required zoning standard by 50% or more) and where new construction does not comply with the current requirements (specifically, the proposed reduced second story right-side setback).

Project conformance with Use Permit findings is discussed in further detail in Section A.4 of this report.

3. Conformance with the Design Review Regulations

The project was heard on June 7, 2022, at the Emerald Lake Hills Design Review Officer meeting. No members of the public submitted written correspondence or attended the meeting.

At the hearing, the DRO recommended approval of the design review permit, finding that the design of the new house is consistent with applicable Design Review Standards, Section 6515.15 of the Zoning Regulations. Prior to the hearing, the DRO recommended that the applicant modify the project to minimize the amount of stucco and to select a more compliant color (earth-toned color instead of white) to better comply with the design standards. As presented at the hearing, the applicant modified the proposed exterior material to Hardie board siding and the proposed color to an aged pewter, a medium grey. Project modifications allow the project to achieve compliance with the design review standards.

The project's compliance with these Design Review Standards is discussed below:

- a. Site Planning: Requires the siting of new buildings on a parcel in locations which achieve the following five objectives:

- (1) *Minimize tree removal.*

No trees are proposed for removal. The plans were reviewed by the County Arborist who requested additional tree protection measures on the construction plan set (Condition 18).



(2) *Minimize alteration of the natural topography.*

The subject parcel has a mild cross slope with disturbed areas which are flat. A second story addition is proposed and there is no change in the parcel's topography.

(3) *Respect the privacy of neighboring houses and outdoor living areas.*

The location of the residence is not being modified in this proposal. The second story addition minimizes privacy issues, as there is an SFPUC easement to the north and a 2-car garage to the rear. The project minimizes privacy impacts on the adjacent parcel to the south as the deck will face the ROW and the windows on the second story would not face the residence to the south as the neighboring house is located to the west of the addition and there is a fence with vegetation between the structures.

Based on the foregoing, privacy impacts to the neighboring houses and outdoor living areas are minimized with this proposal.

(4) *Minimize blockage of sunlight on neighboring housing and outdoor living areas.*

Blockage of sunlight on outdoor living areas is minimized. The tallest portions of the proposed addition will not block sunlight to neighboring houses or outdoor areas due to the off-set siting of the subject residence and of adjacent development.

(5) *Minimize alteration of streams and natural drainage channels.*

There are no streams or drainage channels that would be impacted by this project.

- b. Architectural Styles: Requires buildings to be architecturally compatible with existing buildings and reflect and emulate architectural styles and the natural surroundings of the immediate area.

There is a wide array of residential styles in the immediate surrounding area. The existing residence was built in 1920. The addition will update the residence, while maintaining compatibility with surrounding residences. As such, the DRO found that the architectural style of the project is compatible with nearby residences and the natural surroundings.

- c. Unenclosed Spaces: Requires avoiding the creation of space beneath buildings and prohibits buildings that are predominantly built on stilts.

No unenclosed spaces, or structures built on stilts, would be created by this proposal.

- d. Building Shapes and Bulk: Requires that buildings are designed with shapes that respect and conform to the natural topography of the site.

The addition is in conformance with development on a relatively flat lot. The proposed development will conform to the existing topography.

- e. Facades: Requires well-articulated and proportioned facades.

The proposed addition has a contemporary style that would achieve articulation using the application of different siding materials and window patterns. The proposed addition will not create any massive blank walls.

- f. Roofs: Requires pitched roofs.

The roof plan of the house is mainly comprised of pitched roofs and complies with this design standard.

- g. Materials and Colors: Requires that varying architectural styles are made compatible by using similar materials and colors that blend with the natural setting and the immediate area. The proposed addition would modernize the 1920 home while maintaining compatibility with the immediate area.

The proposed development utilizes Hardie board siding, in a medium grey color, aged pewter as siding exterior materials. Both the siding, which looks like wood, and the medium gray color are compliant with the DR standards and blend with the natural setting.

- h. Utilities: New utilities should be placed underground.

As required by zoning, new utilities are proposed to be placed underground (Condition 12).

- i. Paved Areas: Requires minimization of paved areas.

There is no new paved area proposed with addition to the residence. The paving associated with the driveway is associated with the design review exception for the approved detached two car garage.

4. Conformance with the Use Permit Regulations

The subject APNs 058-262-010 and 058-262-050 total 9,733 sq. ft., where 12,000 sq. ft. is the minimum parcel size. Section 6135 of the Zoning Regulations allows development on a legal, non-conforming parcel which does not meet current zoning standards with the approval of a Non-Conforming Use Permit. Specifically, a Non-Conforming Use Permit is required to allow the proposed addition and remodel as it would: 1) exceed 50% of the value of the house qualifying the project as a major remodel/addition while maintaining the significantly non-conforming 3-foot front setback; and 2) include a second story addition that would maintain the same non-conforming right-side setback of 6.6 feet as the existing first floor and not comply with the 12.5 feet minimum. The following is a discussion of the project conformance with required findings, per Sections 6137 and 6503 of the Zoning Regulations, for the Planning Commission to grant the Non-Conforming Use Permit:

- a. The proposed development is proportioned to the size of the parcel on which it is being built.

The 9,733 sq. ft. parcel is non-conforming in size and shape and is bisected by SFPUC Right-of-Way. The proposed addition complies with the maximum lot coverage and floor area for the parcel. The addition would be stepped in at the front to comply with the front setback and will match the existing right-side setback. Due to the location of the SFPUC ROW, the project would, from the public view points, appear to meet the side setback requirement.

The project would appear proportional to the parcel size from the public right-of way. The proposed addition and the approved detached garage (PLN 2021-00216) are linear in siting, with the garage located behind the house and screened from the street. The project does not exceed the allowed lot coverage or floor area and the proposed reduced right setback would be indiscernible to the public and would not substantially alter the project's appearance of proportionality.

- b. All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.

There are two parcels contiguous to the portion of the subject parcel where the development is proposed. One parcel is privately owned and developed with single-family residence and the second is a public utility access easement. The subject property owner indicated that the adjacent property owner was not interested in selling land. SFPUC ROW is developed with water infrastructure and is not available for purchase.

- c. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.

As described in Section A.2 of this report, the proposal requires relief from one requirement of the RH Zoning District, the right-side setback for the new second story. The Non-Conforming Use Permit will also allow the maintenance of the existing non-conforming setbacks of the residence. The addition does not further exacerbate any non-conformities. The exceptions are relatively minor and are as nearly in conformance with the zoning regulations currently in effect as is reasonably possible, as described by staff below:

- d. The establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.

The proposed design is compatible with the surrounding residences and with the Emerald Lake Hills community due to project adherence to Emerald Lake Hills Design Review Standards and maintains design integrity of the residence, retains mature, native trees, and leaves undeveloped portions of the parcel undisturbed. The project has been reviewed by Cal-Fire and the Department of Public Works and preliminarily approved and any conditions of approval have been included in Attachment A. The project is not located in the Coastal Zone and would not impact coastal resources. Based on the foregoing, staff has determined that this proposal would not be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

- e. Use permit approval does not constitute a granting of special privileges.

Section 6135 allows for major repair or remodel for significantly non-conforming structures with the granting of a Non-Conforming Use Permit. This residence was constructed in 1920 and appears to meet

the side setbacks for the previous zoning designation for the property. Many of the older residences in close proximity have approximately 5-foot side setbacks. The proposed second story would comply with the required front yard 20-foot setback, 7.5-foot left side setback, but encroach 6 feet into the required 12.5-foot right side setback. The requested setback encroachment is adjacent to a SFPUC ROW which bifurcates the subject property. There have been numerous setback exceptions granted for lands which are divided by the SFPUC ROW; therefore, this request is similar and consistent with use permits granted for other properties in the neighborhood.

**B. ENVIRONMENTAL REVIEW**

This project is exempt from environmental review pursuant to the CEQA Guidelines, Section 15301, Class 1, relating to existing facilities up to 10,000 square feet. The exemption includes additions to a single-family residence in a residential zone, in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive. The property is located in an established residential community and is served by public water and sewer districts.

**C. REVIEWING AGENCIES**

Building Inspection Section  
Building Drainage Section  
Department of Public Works  
Cal-Fire  
Emerald Lake Heights Sewer Maintenance District  
County Arborist  
San Francisco Public Utilities Commission

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Assessor's Parcel Map and Vicinity Map
- C. Project Survey and Plans
- D. Kielty Arborist Services Arborist Report dated February 28, 2022
- E. Use Permit Supporting Statements
- F. SFPCU statement about development adjacent to ROW

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2021-00189      Hearing Date: February 22, 2022

Prepared By: Erica Adams, Project Planner      For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

For the Environmental Review, Find:

1. This project is exempt from environmental review pursuant to the CEQA Guidelines, Section 15301, Class 1, relating to existing facilities where the addition is less than 10,000 square feet. The exemption includes additions to a single-family residence in a residential zone, in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive. The property is located in an established residential community and is served by public water and sewer districts.

For the Design Review, Find:

2. This project, as designed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards as stipulated in Chapter 28, Section 6565.15, of the San Mateo County Zoning Regulations. The proposal was reviewed and recommended for approval by the Emerald Lake Hills Design Review Officer (DRO) on July 6, 2021.
3. After consideration of project plans and public testimony, the DRO found that the proposed house design, as proposed and conditioned, is in compliance with the Design Review Standards because the project: (a) incorporates materials which comply with the Design Review Standards, (b) has a building shape minimizes bulk by varying building height and use of a variety of geometric shape planes (c) facades are proportioned and patterned, and (d) respects privacy of neighboring houses.

For the Non-Conforming Use Permit, find:

4. That the project complies with the required findings for a Non-Conforming Use Permit per Section 6137 in that:
  - a. The development is proportioned in size as it complies with allowed lot coverage and floor area and the structure will not encroach further into required setbacks. The nonconformities are existing, and the new exceptions are minor in scale, and the resulting residence is proportional for the parcel.
  - b. No opportunities to acquire additional land exist. One parcel is privately owned and developed with single-family residence and the second is a SFPUC utility and access easement and not available.
  - c. As described in Section A.2 of this report, the proposal requires relief from one requirement of the RH Zoning District, the right-side setback for the new second story and continuation of a non-conforming front setback. The majority of the project's non-conformity is existing, and the addition matches an existing, side setback.
  - d. The proposed design is compatible with the surrounding residences and with the Emerald Lake Hills community due to project adherence to Emerald Lake Hills Design Review Standards and maintains design integrity of the residence, retains mature, native trees, and leaves undeveloped portions of the parcel undisturbed. The project has been reviewed and recommended for approval by the Emerald Lake Hills Design Review Officer, and no concerns were raised by reviewing agencies such as the Building Section, Department of Public Works or Cal-Fire.
  - e. The majority of nonconformities are existing and Non-Conforming Use Permits are often utilized by property owners adjacent to the SFPCU ROW to address development constraints. Therefore, exceptions requested are not granting any special privilege and would result in a residence consistent with other houses in the neighborhood.

**RECOMMENDED CONDITIONS OF APPROVAL**

Current Planning Section

1. The project shall be constructed in compliance with the plans approved by the Planning Commission on February 22, 2023. Any changes or revisions to the approved plans shall be submitted for review by the Community Development Director to determine if they are in substantial compliance with the approved plans, prior to being incorporated into the building plans. Adjustments to the design of the project may be approved by the Design Review Officer if they are

consistent with the intent of and are in substantial conformance with the Planning Commission approval. Adjustments to the design during the building permit stage may result in the assessment of additional plan resubmittal or revision fees. Alternatively, the Design Review Officer may refer consideration of the adjustments, if they are deemed to be major, to a new Emerald Lake Hills Design Review public hearing which requires payment of an additional fee of \$1,500 and surcharges.

2. The Design Review Permit and Non-Conforming Use Permit shall be valid for five (5) years from the date of final approval, in which time a building permit shall be issued, and a completed inspection (to the satisfaction of the building inspector) shall have occurred within 180 days of its issuance. The design review approval may be extended by one (1) year increment with submittal of an application for permit extension and payment of applicable extension fees 60 days prior to the expiration date.
3. No significant trees are approved for removal. Trees designated to remain shall be protected from damage during construction per the project arborist report. Any additional tree removal is subject to the San Mateo County Tree Ordinance and will require a separate permit for removal.
4. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to final Planning approval of the building permit.
5. Prior to the Current Planning Section approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
6. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.



7. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
8. The applicant shall adhere to all requirements of the Building Inspection Section, the Department of Public Works, and the County Fire Department.
9. No site disturbance shall occur until a building permit has been issued.
10. To reduce the impact of construction activities on neighboring properties, comply with the following:
  - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles impede through traffic along the right-of-way on Hillcrest Drive. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Hillcrest Drive. There shall be no storage of construction vehicles in the public right-of-way.
11. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays, and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
12. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
13. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines" including, but not limited to, the following:
  - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.

- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earth-moving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

### Water Efficient Landscape Ordinance (WELO)

14. The project is subject to compliance to the Water Efficient Landscape Ordinance (WELO): <https://www.smcgov.org/planning/water-efficient-landscape-ordinance-welo> .

### Building Inspection Section

15. A building permit is required.
16. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Drainage Section for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Drainage Section for review and approval.
17. Any impervious surface for the project will be incorporated into the larger drainage plan for the site (as required in building permit for proposed ADU and Garage permits).

### County Arborist

18. Plans submitted for the building permit should be updated to include location of tree protection fencing as recommended by arborist.

### County Fire Department

19. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least 6 feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height and have a minimum 1/2-inch stroke. Remote signage shall be a 6-inch by 18-inch green reflective metal sign.

20. Remove that portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe or any portion of the tree which overhangs the roof assembly or is within 5 feet of any portion of the structure.
21. A fire flow of 500 gpm for 2 hours with a 20-psi residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on site.
22. Any chimneys shall have installed onto the opening thereof a galvanized, approved spark arrester of a mesh not larger than one-half of an inch.
23. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrester of a mesh with an opening no larger than 1/2 inch in size or an approved spark arresting device. Maintain around and adjacent to such buildings or structures a fuel break/firebreak made by removing and cleaning away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures or to the property line, if the property line is less than 30 feet from any structure. This is not a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures. Remove that dead or dying portion of any tree which extends over the roof line of any structure.
24. The required fire flow shall be available from a County Standard 6-inch Wet Barrel Fire Hydrant. The configuration of the hydrant shall have a minimum of one each 4 1/2-inch outlet and one each 2 1/2-inch outlet located not more than 250 feet from the building measured by way of approved drivable access to the project site.
25. Because of limited access into your property, the authority having jurisdiction is requiring the installation of a Knox Box, Knox Key Switch, or Knox Padlock to allow rapid response of emergency vehicles onto your property in case of a fire or medical emergency. For an application or further information please contact the San Mateo County Fire Marshal's Office at 650/573-3846.
26. All roof assemblies in Very high Fire Hazard Severity Zones shall have a minimum CLASS-A fire resistive rating and be installed in accordance with the manufacturer's specifications and current California Building and Residential Codes.

27. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.
28. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Inspection Section for review and approval by the authority having jurisdiction.
29. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
30. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection to meet CRC R327 or CBC Chapter 7A requirements.

#### Department of Public Works

30. Project will comply with County drainage policy to prevent stormwater from development from flowing across property lines. For projects that trigger size and/or slope thresholds, prior to the issuance of the building permit or planning permit (for Provision C3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works and Planning and Building Department for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works and Planning and Building Department for review and approval.
31. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.
32. The applicant shall submit to the Department of Public Works, for review, documentation of ingress/egress easements for the applicant's use and the use of others.
33. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including

review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

San Francisco Public Utilities Commission

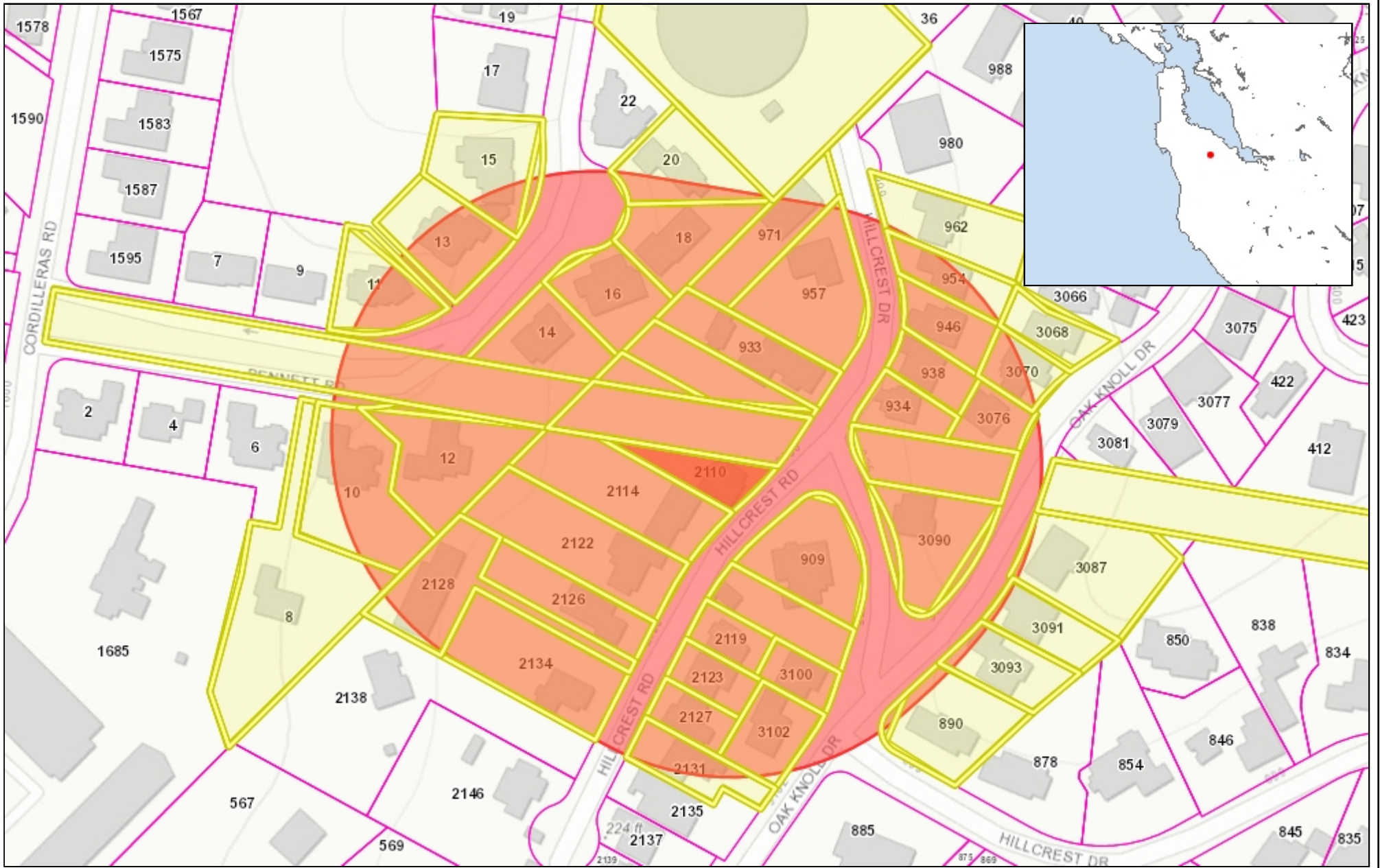
34. Due to the proximity of this project to the right of way and critical infrastructure, SFPUC requests the project proponent fill out a Project Review Application.

EDA:mda – EDAH0020\_WM.U.DOCX




**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT B**



0.07 0 0.04 0.07 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:2,257 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**






**SFPUC ROW**

Hillcrest Drive

0.04 0 0.02 0.04 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:1,128 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT C**



# FIRE

THIS LOT IS LOCATED IN A VERY HIGH LOCAL RESPONSIBILITY AREA OF FIRE HAZARD (VERY HIGH LRA). FOR CONSTRUCTION OF THE NEW DETACHED ADU, ALL APPLICABLE REQUIREMENTS OF THE CRC R337, MUST BE MET. REFER TO CA RES. CODE R337.1.3 & R337'S APPLICABLE SUB-SECTION CODE REQUIREMENTS.

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CA FIRE CODE SEC. 4906, INCLUDING CA PUBLIC RESOURCES CODE 4291 OR CA GOVERNMENT CODE SEC. 51182 PER CRC R337.1.5.

SINCE DETACHED UNIT IS LESS THAN 1000 SF, FIRE SPRINKLERS NOT REQUIRED.

# CONSTRUCTION WASTE MANAGEMENT

PER CALGREEN SEC. 4.408.2 (OR IN ACCORDANCE WITH THE LOCAL ORD), DIVERT A MINIMUM OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE PER SEC. 4.408.1. THE FORM MAY BE FOUND ON PAGES 64-66 OF THE 2013 CA GREEN BUILDING CODE. IDENTIFY THE DIVERSION FACILITY WHERE THE MATERIAL COLLECTED WILL BE TAKEN.

# ADDRESSING

PROVIDE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING W/ BACKGROUND SD AS TO BE SEEN FROM PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS SHALL BE AT LEAST 6 FT. ABOVE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY (THIS CASE), ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY LEADING TO THE BUILDING SHALL BE REQUIRED BY S.M. CD. FIRE DEPT. REMOTE SIGNAGE SHALL BE 6" H. X 18" W. GREEN REFLECTIVE METAL SIGN W/ 3" H. REFLECTIVE NUMERALS SIM. TO "HY-KD 911" OR EQUIVALENT.

# PLUMBING NOTE

ALL POTABLE WATER PIPING & FITTINGS SHALL BE BRASS, COPPER, CAST IRON, GALVANIZED MALLEABLE IRON, GALVANIZED WROUGHT IRON, OR GALVANIZED STEEL. ALL MATERIALS USED IN THE WATER SUPPLY SYSTEM, EXCEPT VALVES, & SIMILAR DEVICES, SHALL BE OF LIKE MATERIAL PER SAN MATED CD. BLDG. REGS. SEC. #9184 UPC - MATERIALS; SEC.#604.1.

## 50% Valuation Page 3 of 3

To calculate 50% as of March 17, 2008:

Existing Livable	Sq. Ft. 1445	X 300.00	= \$ 433,500
Existing Garage	Sq. Ft. 185	X 40.00	= \$ 4625
			25.00
Total Dollar Value of Existing Sq. Ft.			\$ 438,125 100%
			\$ 219,062.5 50%

New Livable	Sq. Ft. 875	X 300.00	= \$ 268,500
New Garage	Sq. Ft. 0	X 40.00	= \$ 0
Total Dollar Value of New Sq. Ft.			\$ 268,500
Remodel (if any) to Existing Structure - straight dollar cost			\$ 50,000
New and Remodel Combined Value			\$ 318,500

Carpports:	\$25.00
Basements:	
Semi-finished:	\$35.00
Unfinished:	\$25.00

FRM00447.BLD.DOC  
(2/28/11)

318,500 > 219,062.5  
EXCEEDS 50% VALUATION.



3D RENDERING: (N) 2ND STORY ADDITION TO (E) SFR (W/ COMPLIANT COLOR)

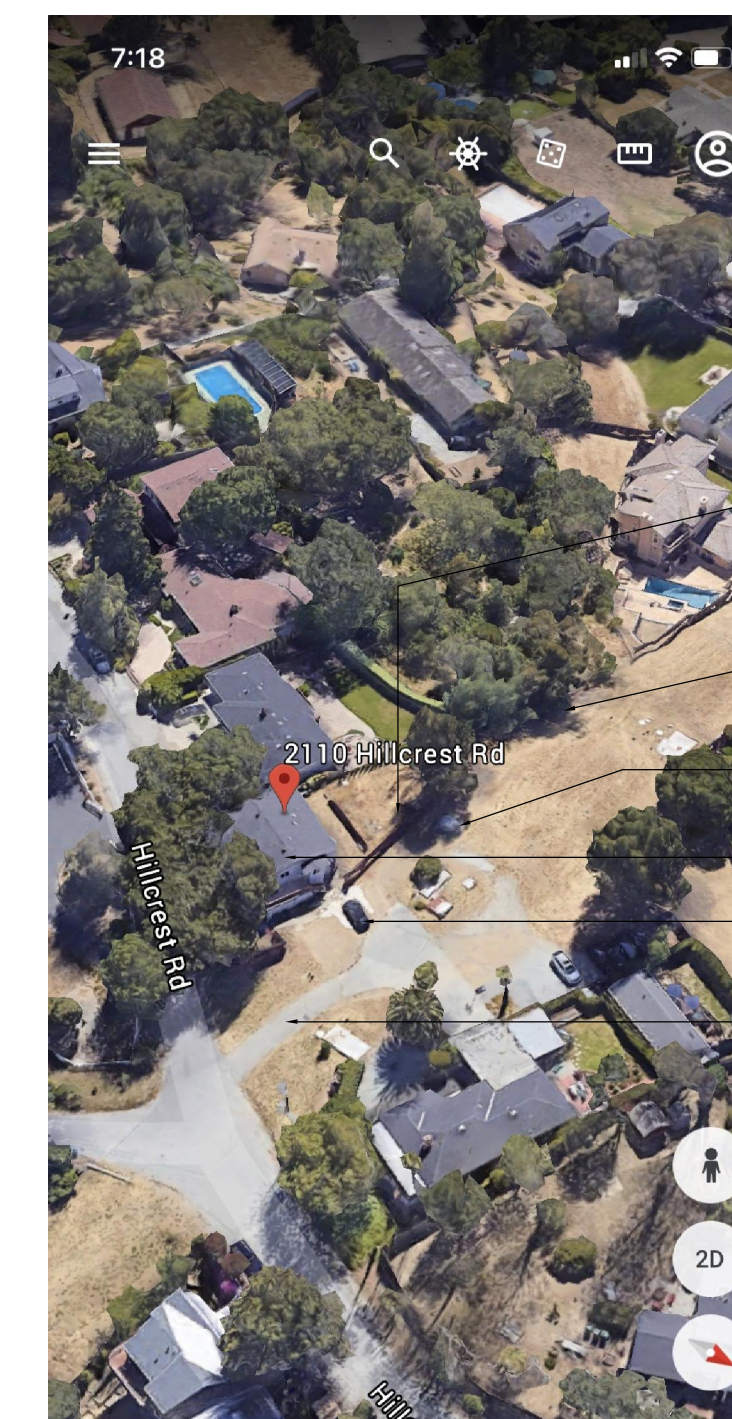
50% VALUATION THRESHOLD EXCEEDED: USE PERMIT REQD.



DRIVEWAY APPROACH



DRIVEWAY APPROACH



3D SITE

DATE  
ISSUED FOR  
REGISTERED ARCHITECT  
MARK BUCCIARELLI  
No. C-23159  
3/31/23  
Renewal Date  
STATE OF CALIFORNIA

**BAUKUNST**  
585 Foothaven Avenue, Daly City, CA 94015  
T: 650.455.1207  
E: baukunst2000@yahoo.com W: baukunstarchitecture.com

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This drawing is the sole property of the Architect and may not be reproduced or used without the written consent. The right to build only one structure at said project address from these plans is licensed exclusively to the specific project owner.

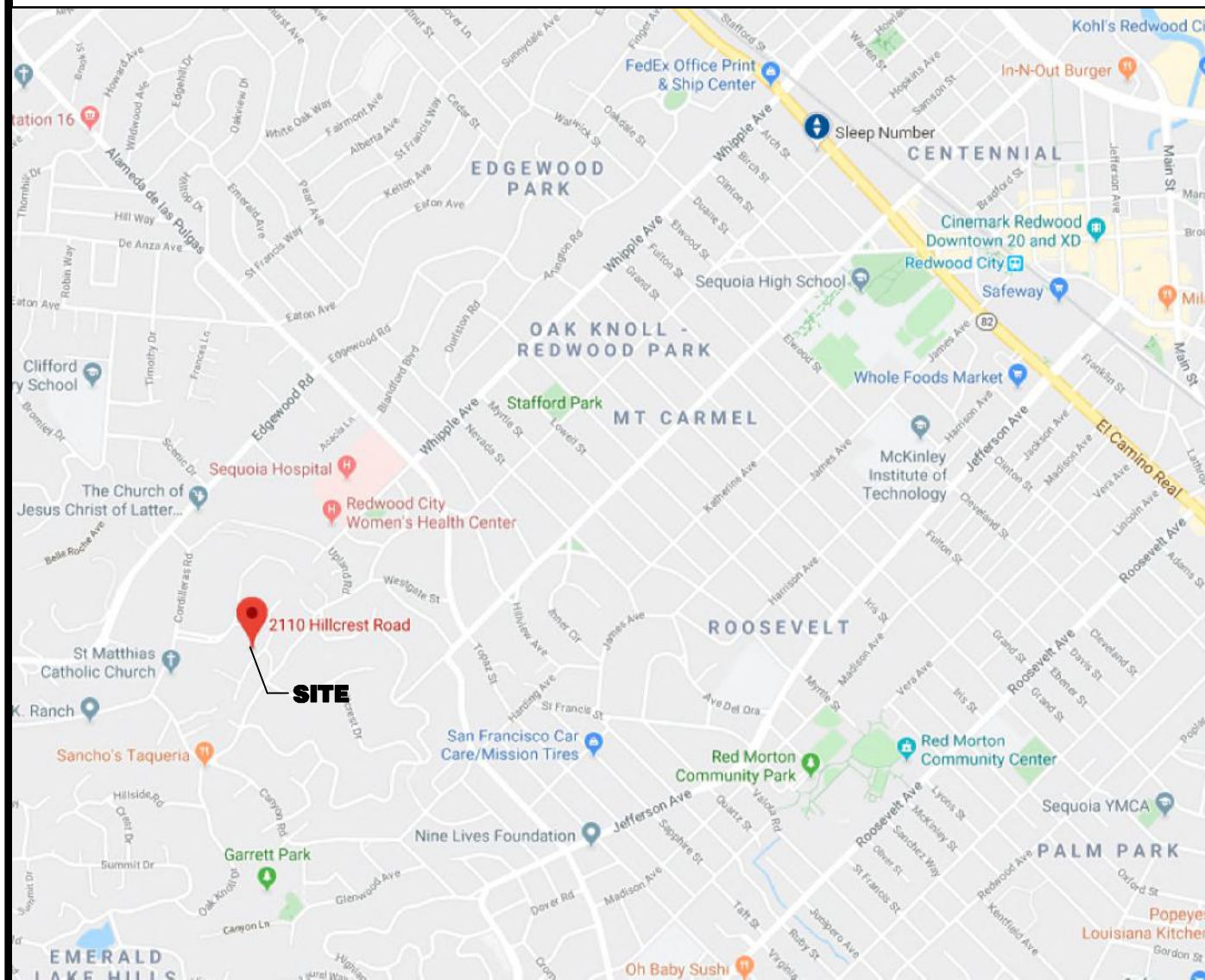
**2ND STORY ADDITION**  
2110 HILLCREST  
REDWOOD CITY (EMERALD HILLS), CA

8/28/19 NO SCALE

A0.1

# RESIDENTIAL BUILDING SITE IMPROVEMENT

**APN 058-262-010**



**VICINITY MAP**  
NOT TO SCALE

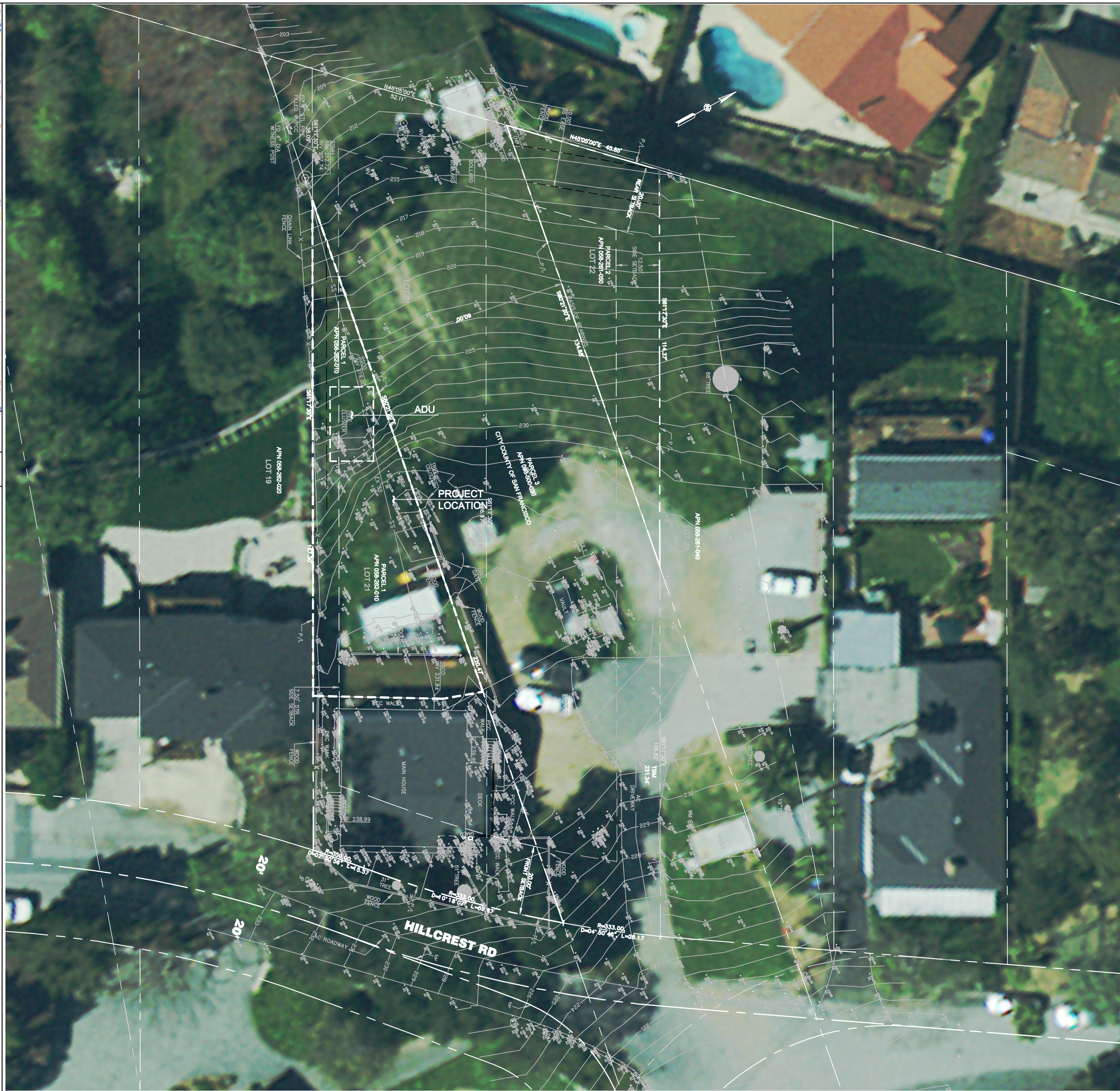
**SCOPE OF WORK**

1. THE PROJECT SCOPE OF WORK INCLUDES THE NECESSARY DEMOLITION, AND CONSTRUCTION OF WALKWAYS, ON-SITE RETAINING WALLS, GRADING, DRAINAGE UTILITIES, AND SITE SURFACE IMPROVEMENTS AS SHOWN HERIN FOR THE CONSTRUCTION OF AN ACCESSORY DWELLING UNIT, ACCESSORY BUILDING AND 2<sup>ND</sup> STORY ADDITION TO THE MAIN RESIDENCE.
2. ONLY WORK DETAILED ON THESE PLANS IS APPROVED FOR CONSTRUCTION. ANY ADDITIONAL WORK REQUIRED NOT DETAILED ON THESE PLANS MUST BE SUBMITTED SEPARATELY AS A REVISION TO THE PROJECT. REVISIONS MAY REQUIRE NEW PLANS, PERMITS AND ADDITIONAL FEES.
3. THE ENGINEER SHALL NOT BE RESPONSIBLE NOR LIABLE FOR ANY UNAUTHORIZED CHANGES TO THESE PLANS. ALL PROPOSED CHANGES TO PLANS SHALL BE IN WRITING AND MUST BE APPROVED BY ENGINEER PRIOR TO PROCEEDING.
4. APPLICABLE CODES FOR THIS PROJECT:
  - COUNTY OF SAN MATEO MUNICIPAL CODE.
  - 2019 CALIFORNIA BUILDING CODE (2018 INTERNATIONAL BUILDING CODE)
  - 2019 CALIFORNIA ADMINISTRATIVE CODE T24 - PART 1
  - 2019 CALIFORNIA BUILDING CODE T24, PART 2.1
  - 2019 CALIFORNIA BUILDING CODE T24, PART 2.2
  - 2019 CALIFORNIA RESIDENTIAL CODE T24, PART 2.5
  - 2019 CALIFORNIA ELECTRICAL CODE T24, PART 3
  - 2019 CALIFORNIA MECHANICAL CODE T24, PART 4
  - 2019 CALIFORNIA PLUMBING CODE T24, PART 5
  - 2019 CALIFORNIA ENERGY CODE T24, PART 6
  - 2019 CALIFORNIA HISTORICAL BUILDING CODE T24, PART 8
  - 2019 CALIFORNIA FIRE CODE T24, PART 9
  - 2019 CALIFORNIA EXISTING BUILDING CODE T24, PART 10
  - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE T24, PART 11
  - 2019 CALIFORNIA REFERENCED STANDARDS CODE T24, PART 12
  - ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS.

**OWNER INFORMATION:**  
 NAME: DEAN BAYANGOS C/O ERWIN MEDIOS  
 ADDRESS: 2110 HILLCREST RD  
 EMERALD HILLS, CA 94062  
 PHONE: (415) 350-8158

<b>CONSULTANT INFORMATION:</b>	<b>GEOTECHNICAL ENGINEER</b>
<b>CIVIL ENGINEER</b> <b>JET ENGINEERING</b>	<b>PG SOILS, INC.</b>
CONTACT: JAMES E. THOMPSON ADDRESS: 1048 EL CAMINO REAL, SUITE C REDWOOD CITY, CA 94063 PHONE: (650) 260-2755	CONTACT: PAUL A. GRISHABER ADDRESS: 901 ROSE COURT BURLINGAME, CA 94010 PHONE: (650) 347-3934

**ARCHITECTURE**  
**BAUKUNST**  
 CONTACT: MARK BUCCIARELLI  
 ADDRESS: 58 FAIRLAWN AVE  
 DALY CITY, CA 94015  
 PHONE: (650) 455-1207



**EXSITING SITE PLAN**

**LEGEND**

DESCRIPTION	PROPOSED	EXISTING
PROPERTY LINE	---	---
CENTERLINE	---	---
SETBACK LINE	---	---
FENCE	---	---
FIRE HYDRANT		⊕
MANHOLE		⊙
VALVE		⊗
AREA SPOT ELEVATION		x 101.50
VALLEY GUTER	---	---
SANITARY SEWER	SS	SS
CLEANOUT	●	○
STORM DRAIN	SD	SD
WATER		W
GAS		G
INFILTRATION TRENCH	INF	INF
UNDERGROUND ELECTRIC		E
TELEPHONE		T
PAVED INVERT		→
OVERHEAD WIRE		OHV
SWALE		~
REMOVE TREE	⊗	
TREE PROTECTION FENCING	⊗	

**ABBREVIATIONS**

AB = AGGREGATE BASE	FF = FINISH FLOOR	TC = TOP OF CURB
ABD = ABANDON	FG = FINISH GRADE	TW = TOP OF WALL
AC = ASPHALT CONCRETE	FOC = FACE OF CURB	TYP = TYPICAL
AD = AREA DRAIN	H = HEIGHT	VC = VERTICAL CURVE
BM = BENCHMARK	GM = GAS METER	W = WATER
BOW = BACK OF WALK	INF TR = INFILTRATION TRENCH	WM = WATER METER
BLDG = BUILDING	INT = INTERCEPTOR	
BVC = BEGIN VERTICAL CURVE	INV = INVERT	
BW = BOTTOM OF WALL	JT = JOINT TRENCH	
CB = CATCH BASIN	OC = ON CENTER	
CMU = CONCRETE MASONRY UNIT	PCC = PORTLAND CEMENT CONCRETE	
CONC = CONCRETE	PG = PROFILE GRADE	
CONN = CONNECT	PKNG = PARKING	
DI = DRAINAGE INLET	P/L = PROPERTY LINE	
DRN = DRAIN	PPUD = PERFORATED PIPE UNDER DRAIN	
DTL = DETAIL	PTDF = PRESSURE TREATED DOUGLAS FIR	
EM = ELECTRIC METER	PT = POINT	
EG = EXISTING GRADE	PVC = POLYVINYL CHLORIDE	
ELEV = ELEVATION	RWL = RAINWATER LEADER	
EP = EDGE OF PAVEMENT	SD = STORM DRAIN	
EVC = END VERTICAL CURVE	SHT = SHEET	
EXIST = EXISTING	SS = SANITARY SEWER	
EW = EACH WAY	TBM = TEMPORARY BENCHMARK	

**SHEET INDEX**

SHEET	TITLE
C1.0	COVER SHEET – EXISTING SITE PLAN
C2.0	GENERAL CONSTRUCTION NOTES
C3.0	TOPOGRAPHIC SURVEY AND DEMOLITION AND REMOVAL PLAN
C4.0	SITE PLAN
C4.1	GRADING PLAN
C5.0	DRAINAGE AND UTILITY PLAN
C6.0	RETAINING WALL ELEVATIONS AN DETAILS
C7.0	BUILDING ELEVATIONS
C8.0	SANITARY SEWER PROFILE
C9.0	DETAILS
C10.0	SANITARY SEWER DETAILS
EC.0	STORMWATER POLLUTION PREVENTION PLAN BEST MANAGEMENT PRACTICES
EC.1	EROSION CONTROL PLAN
EC.2	EROSION CONTROL DETAILS

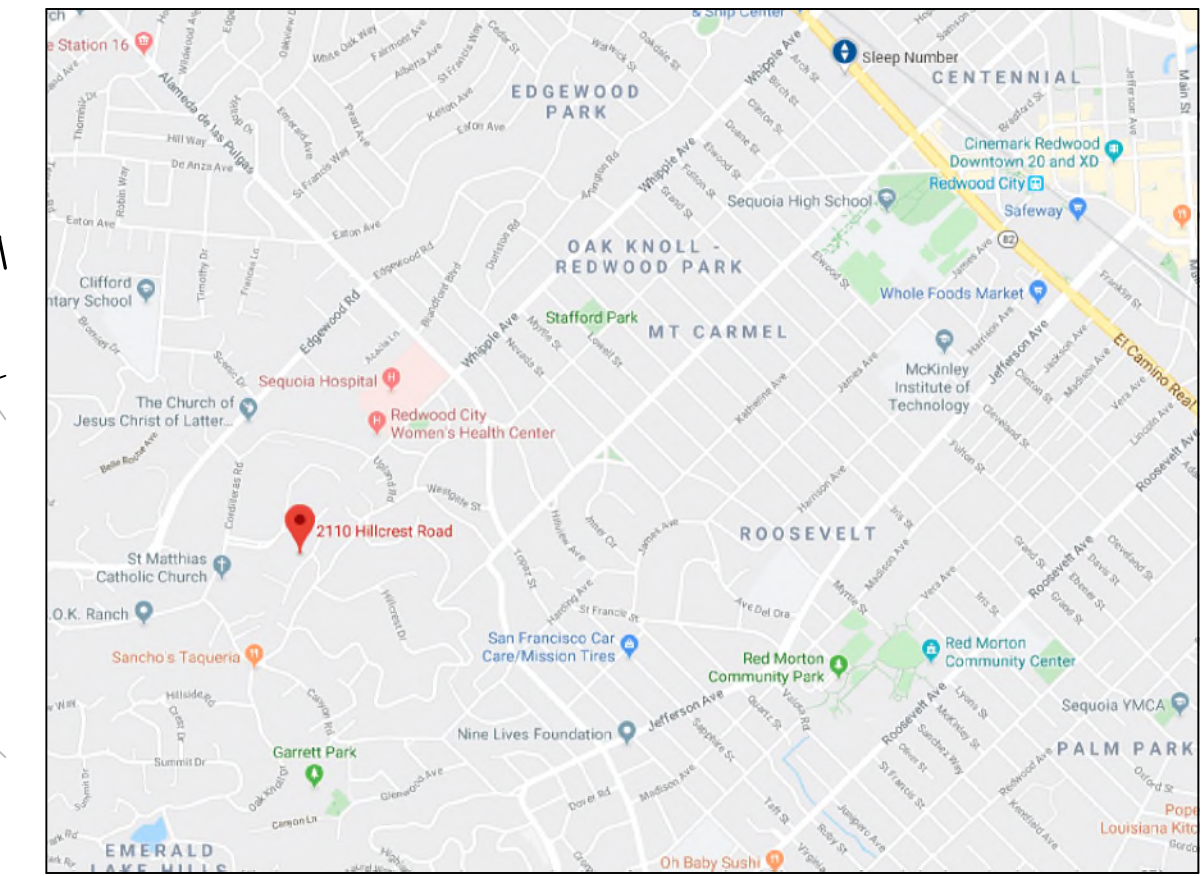


**JET ENGINEERING**  
 CONSULTING CIVIL ENGINEERS  
 1048 EL CAMINO REAL, SUITE C  
 REDWOOD CITY, CA 94063

**LANDS OF MEDIOS & BAYANGOS**  
**2110 HILLCREST RD**  
 REDWOOD CITY, CA 94061

**COVER SHEET**

REVISIONS				JOB NO. <b>R2110-H-19</b>	SHEET NO.
NO.	DATE	DESCRIPTION	BY	DATE: <b>02/02/22</b>	<b>C1.0</b>
				DRAWN: <b>DC</b>	
				CHECKED: <b>JET</b>	
				SCALE: <b>1" - 20'</b>	
					1 OF 14 SHEETS



**VICINITY MAP**  
NOT TO SCALE

**PARCEL INFORMATION**

APN: 058-262-010 – PARCEL 1 (DEED)  
 PARCEL AREA 6,827.12 SF CALCD GROSS  
 APN: 058-261-050 – PARCEL 2 (DEED)  
 PARCEL AREA 2,515.58SF CALCD GROSS

**BOUNDARY**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

**PARCEL 1:**

PORTION OF LOTS 21 AND 22 IN BLOCK 27, AS SHOWN ON THAT CERTAIN MAP ENTITLED, 'RESUBDIVISION OF LOTS 1, 2, 3 AND 4, BLOCK 27 OF OAK KNOLL MANOR NEAR REDWOOD CITY, CALIFORNIA', FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON SEPTEMBER 5, 1919 IN BOOK 10 OF MAPS AT PAGE 25, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHWESTERLY LINE OF LOT 21 IN BLOCK 27, AS SHOWN ON THE MAP ABOVE MENTIONED, DISTANT ALONG SAID LINE, SOUTH 61° 17' 30" EAST 38.09 FEET FROM THE MOST WESTERLY CORNER OF SAID LOT 21; RUNNING THENCE SOUTH 80° 21' 20" EAST 220.67 FEET TO THE NORTHWESTERLY LINE OF HILLCREST DRIVE OR ROAD; THENCE SOUTHWESTERLY ALONG THE SAID LINE OF HILLCREST DRIVE OR ROAD, ON A CURVE TO THE RIGHT, 74.99 FEET TO THE SAID SOUTHWESTERLY LINE OF SAID LOT AND THENCE ALONG SAID LINE, NORTH 61° 17' 30" WEST 186.67 FEET TO THE POINT OF BEGINNING.

**PARCEL 2:**

PORTION OF LOT 22, IN BLOCK 27, AS SHOWN ON THAT CERTAIN MAP ENTITLED, 'RESUBDIVISION OF LOTS 1, 2, 3 AND 4, BLOCK 27 OF OAK KNOLL MANOR NEAR REDWOOD CITY, CALIFORNIA', FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON SEPTEMBER 5, 1919 IN BOOK 10 OF MAPS AT PAGE 25, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF LOT 22 IN BLOCK 27, AS SHOWN ON THE MAP ABOVE MENTIONED AND RUNNING THENCE SOUTH 45° 5' WEST, ALONG THE NORTHWESTERLY LINE OF OAK KNOLL MANOR, 45.85 FEET; THENCE SOUTH 80° 21' 20" EAST 134.68 FEET TO A POINT IN THE NORTHEASTERLY LINE OF SAID LOT 22; THENCE NORTH 61° 17' 30" WEST, ALONG THE NORTHEASTERLY LINE OF SAID LOT 22, 114.37 FEET TO THE POINT OF BEGINNING.

**PARCEL 3:**

THE RIGHT TO CROSS OVER THE LAND LOCATED BETWEEN THE ABOVE DESCRIBED PARCELS, AS SAID RIGHT WAS RESERVED IN THE DEED FROM CHARLES B. PARSONS AND EMMA H. PARSONS, HIS WIFE, TO THE CITY AND COUNTY OF SAN FRANCISCO, RECORDED NOVEMBER 17, 1922 IN BOOK 55 OF OFFICIAL RECORDS OF SAN MATEO COUNTY AT PAGE 237.

**BASIS OF BEARING**

THE BEARING S80°23'22"E FOR THE NORTHERLY SPUR RIGHT OF WAY LINE WAS ROTATED TO S80°21'20"E (1) AS SHOWN ON THE RECORD OF SURVEY 'LANDS OF HARRISON AND SAGEHORN', FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON MARCH 13TH, 2007 IN BOOK 29 OF LLS, AT PAGE 58.

**PROJECT BENCHMARK**

CITY OF REDWOOD CITY BM69, ELEVATION 121.83' (NAVD 1988) DESCRIBED AS FOLLOWS:

CANYON RD AT BAIN PL – TOP OF DISC ON CATCH BASIN, ON CANYON, SE SIDE OF STREET, 135' NE OF BASIN, 20' NE OF UTILITY POLE.

**TEMPORARY BENCHMARK (TBM)**

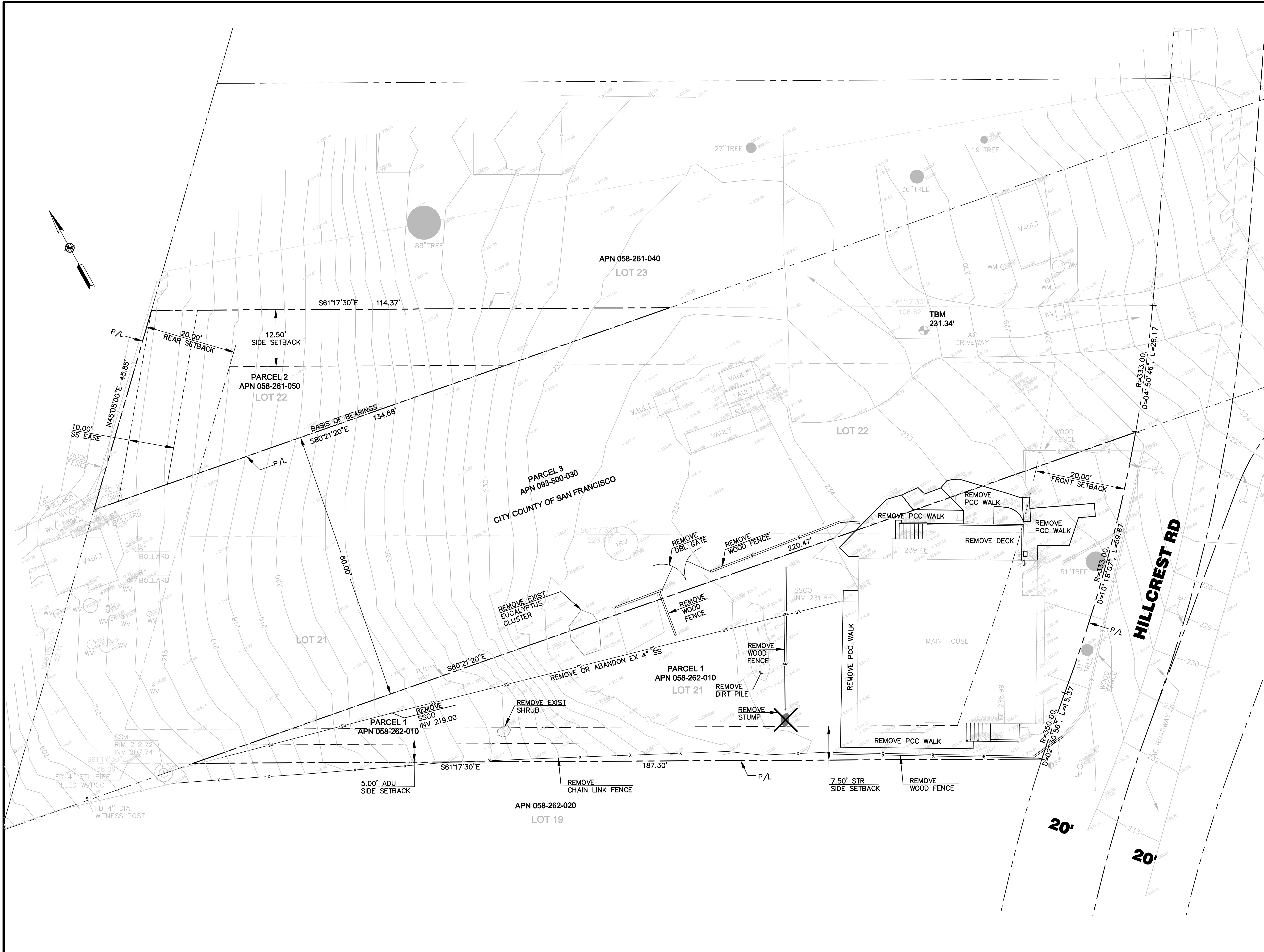
MAG NAIL SET IN FRONT OF THE PROJECT SITE, ELEVATION 231.34'

**DOCUMENTS AND MAP REFERENCES**

- (1) PRELIMINARY REPORT 05-84701478-MG, FILED DATED JULY 7, 2005.
- (2) RESUBDIVISION OF LOTS 1, 2, 3 & 4 BLOCK 27 OF OAK KNOLL MANOR (10 RSM 25)
- (3) OAK KNOLL MANOR (10 RSM 4-11)
- (4) RECORD OF SURVEY (29 LLS 58)

**TOPOGRAPHIC SURVEY NOTES:**

1. TOPOGRAPHIC SURVEYS PREPARED BY JET ENGINEERING DATED SEPTEMBER 14, 2019
2. RECORD BOUNDARY PREPARED BY JET ENGINEERING



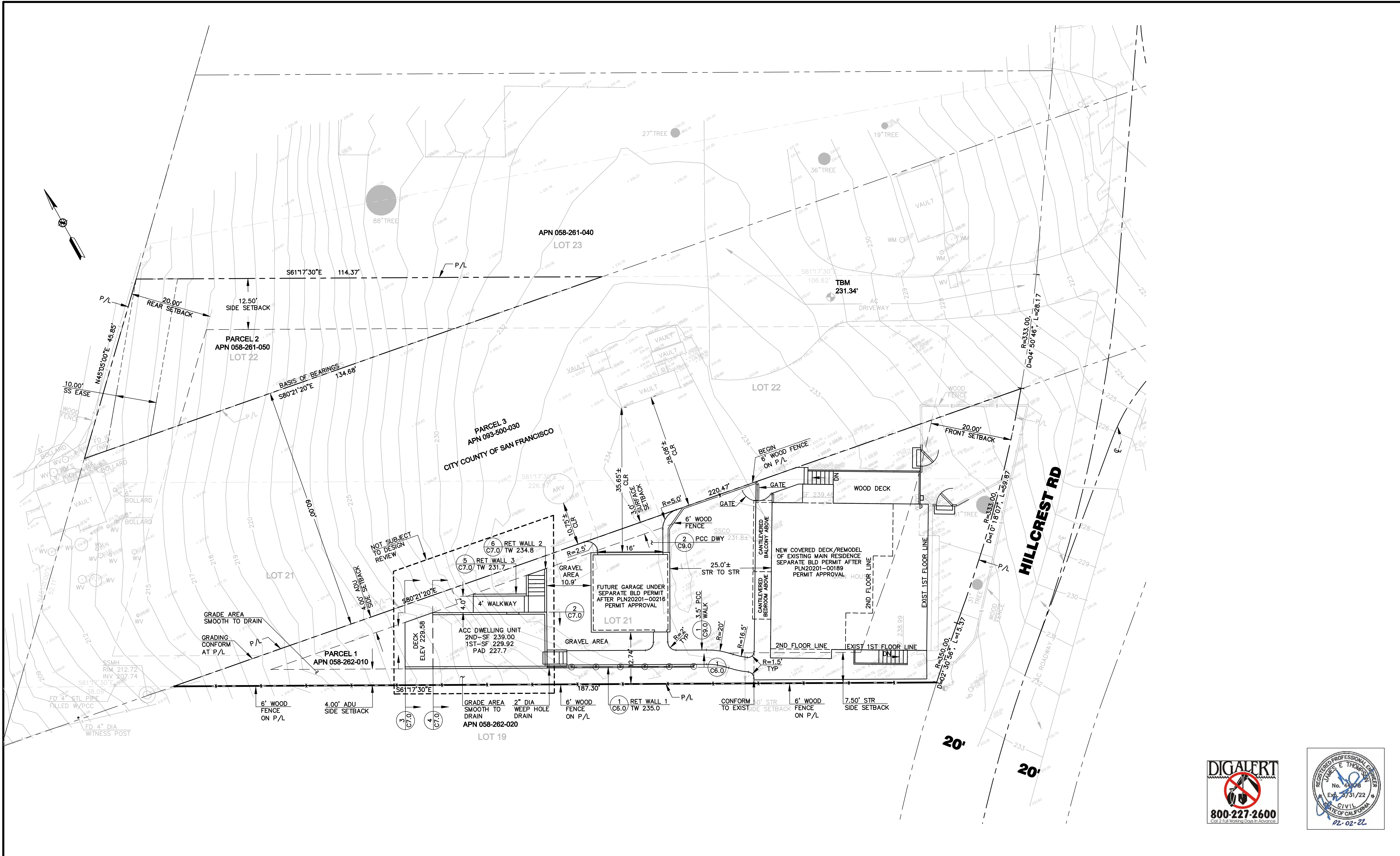
**JET ENGINEERING**  
 CONSULTING CIVIL ENGINEERS  
 1048 EL CAMINO REAL, SUITE C  
 REDWOOD CITY, CA 94063

**LANDS OF MEDIOS & BAYANGOS**  
 2110 HILLCREST RD  
 REDWOOD CITY, CA 94061

**TOPOGRAPHIC SURVEY  
 AND  
 REMOVAL AND DEMOLITION PLAN**

REVISIONS				JOB NO. R2110-H-19		SHEET NO.	
NO.	DATE	DESCRIPTION	BY	DATE :	02/02/22		<b>C3.0</b>
				DRAWN:	DC		
				CHECKED:	JET		
				SCALE:	1" - 10'		





**JET ENGINEERING**  
 CONSULTING CIVIL ENGINEERS  
 1048 EL CAMINO REAL, SUITE C  
 REDWOOD CITY, CA 94063

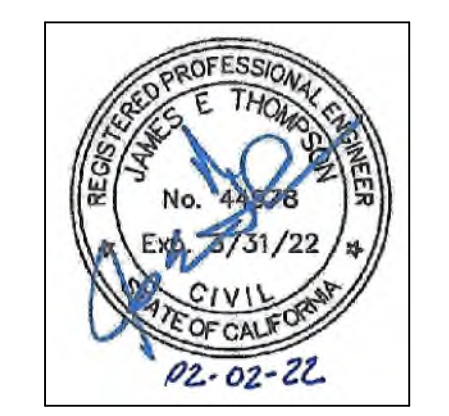
**LANDS OF MEDIOS & BAYANGOS**  
**2110 HILLCREST RD**  
 REDWOOD CITY, CA 94061

**SITE PLAN**

REVISIONS			
NO.	DATE	DESCRIPTION	BY

JOB NO. **R2110-H-19**  
 DATE: **02/02/22**  
 DRAWN: **DC**  
 CHECKED: **JET**  
 SCALE: **1" = 10'**

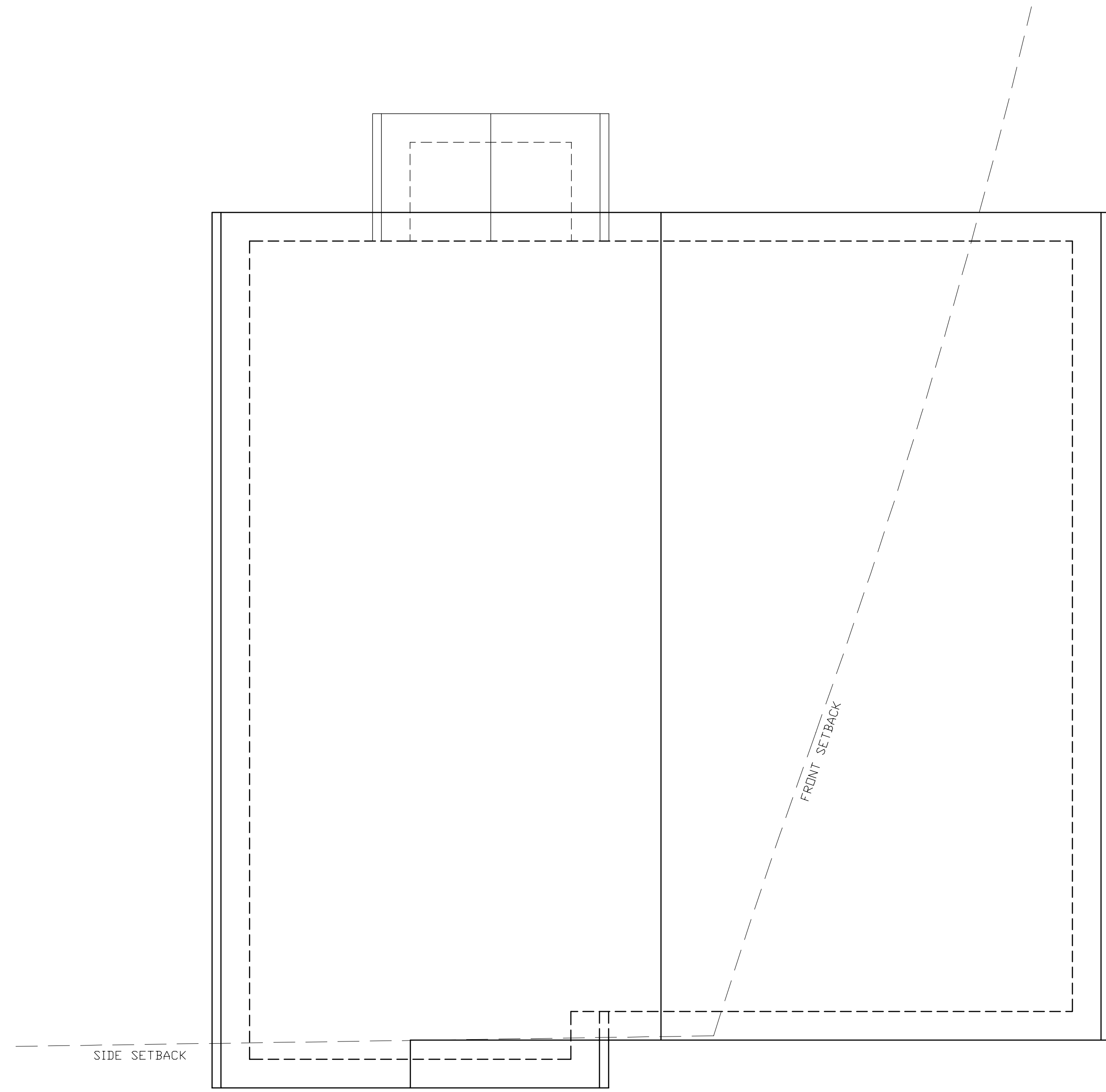
SHEET NO.  
**C4.0**  
 4 OF 14 SHEETS



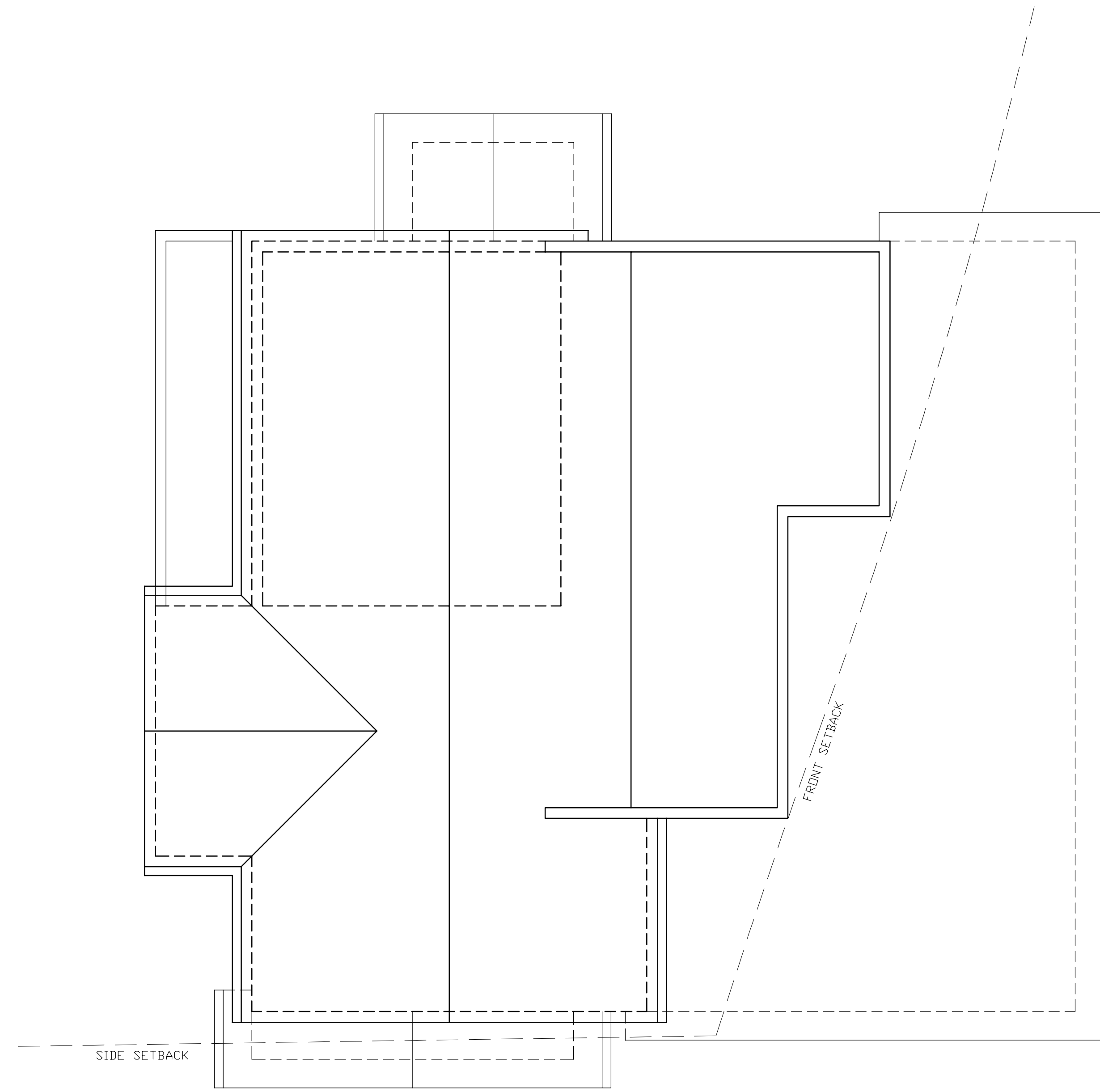








(E)/DEMO ROOF PLAN



PROPOSED ROOF PLAN

DATE  
ISSUED FOR



**BAUKUNST**  
88 Fallblow Avenue, Daly City, CA 94015  
T: 650.455.1207  
E: baukunst2000@yahoo.com W: baukunstarchitecture.com

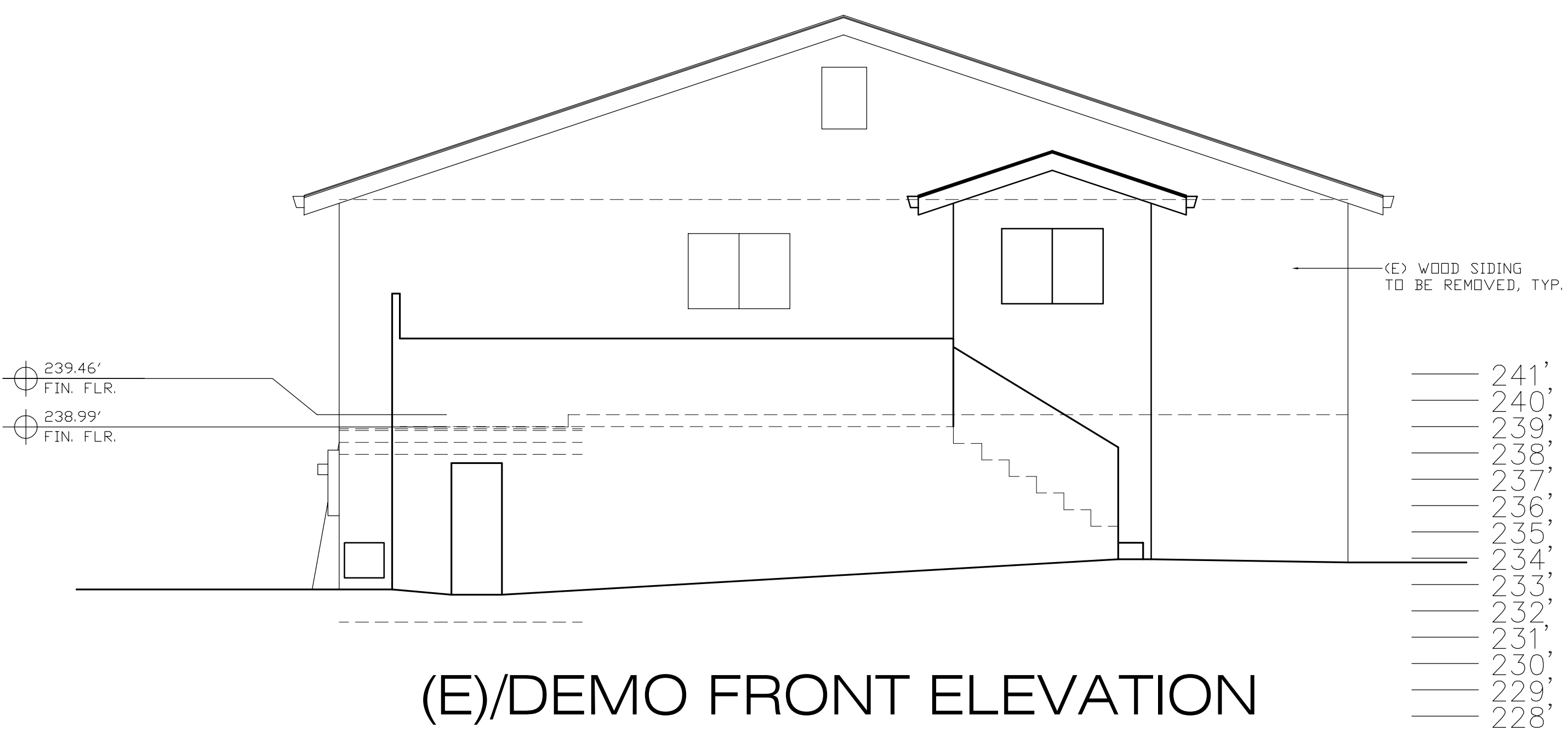
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**2ND FLOOR ADDITION**  
2110 HILLCREST  
REDWOOD CITY (EMERALD HILLS), CA

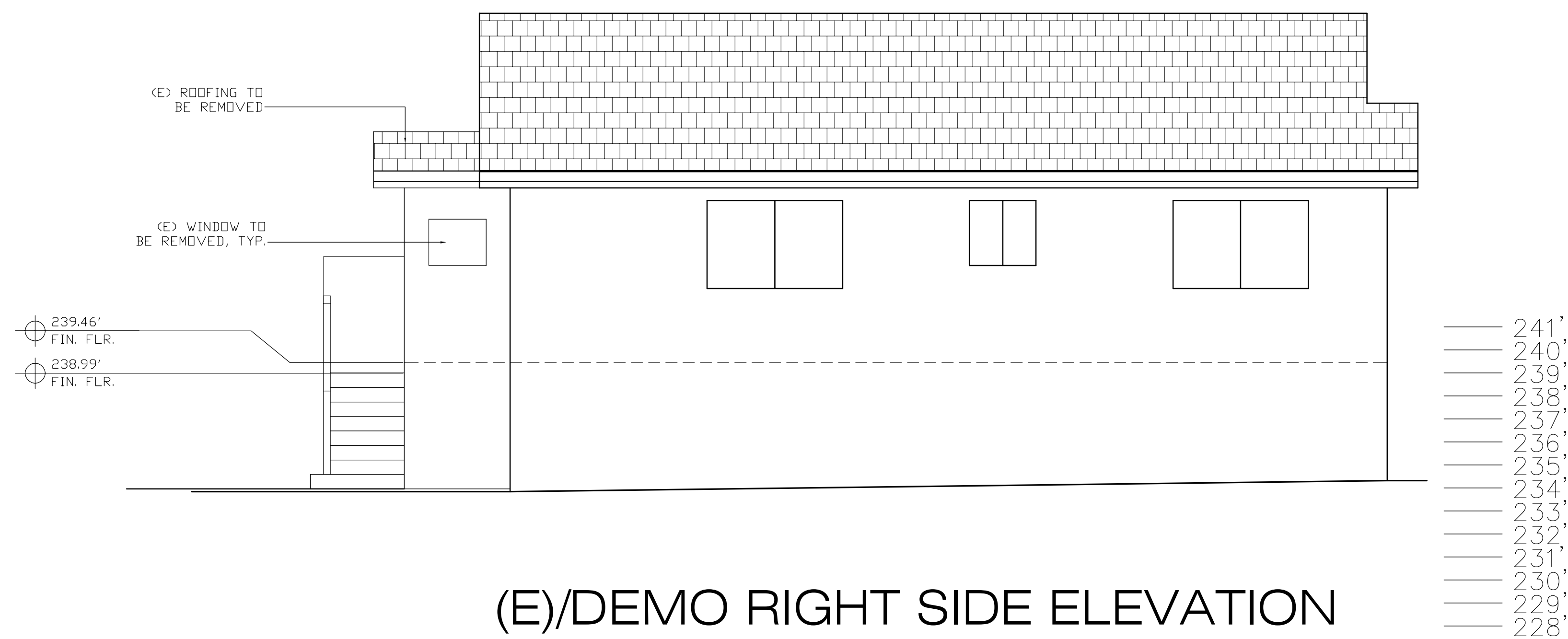
1/4"=1'-0"

**A2.3**

Note: If this sheet is 12"x18" scale is half size



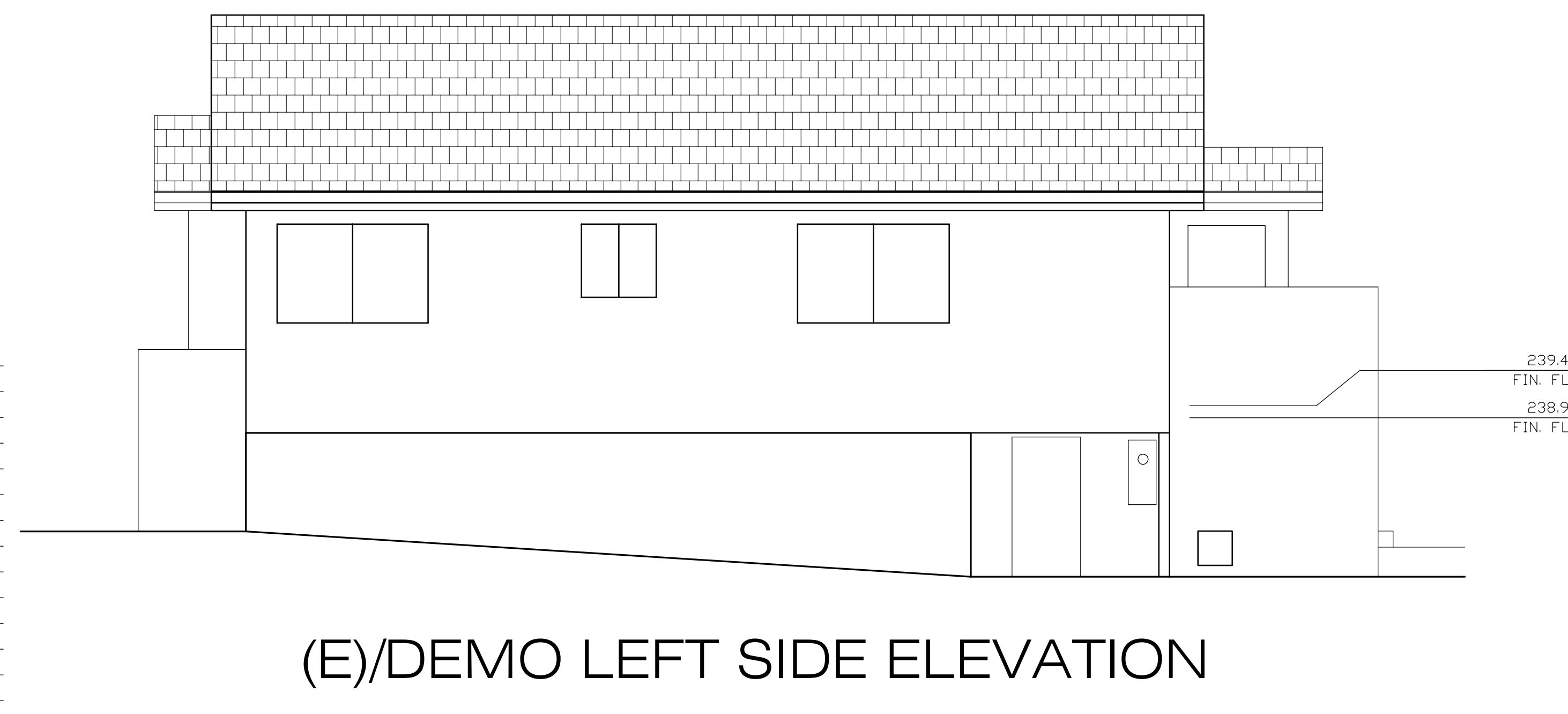
(E)/DEMO FRONT ELEVATION



(E)/DEMO RIGHT SIDE ELEVATION



(E)/DEMO REAR ELEVATION



(E)/DEMO LEFT SIDE ELEVATION

DATE

ISSUED FOR

REGISTERED ARCHITECT  
 MARK BUCCIARELLI  
 No. C-23159  
 3/31/23  
 Renewal Date  
 STATE OF CALIFORNIA

**BAUKUNST**

88 Fairlawn Avenue, Daly City, CA 94015  
 T: 650.455.1207  
 E: baukunst2000@yahoo.com W: baukunstarchitecture.com

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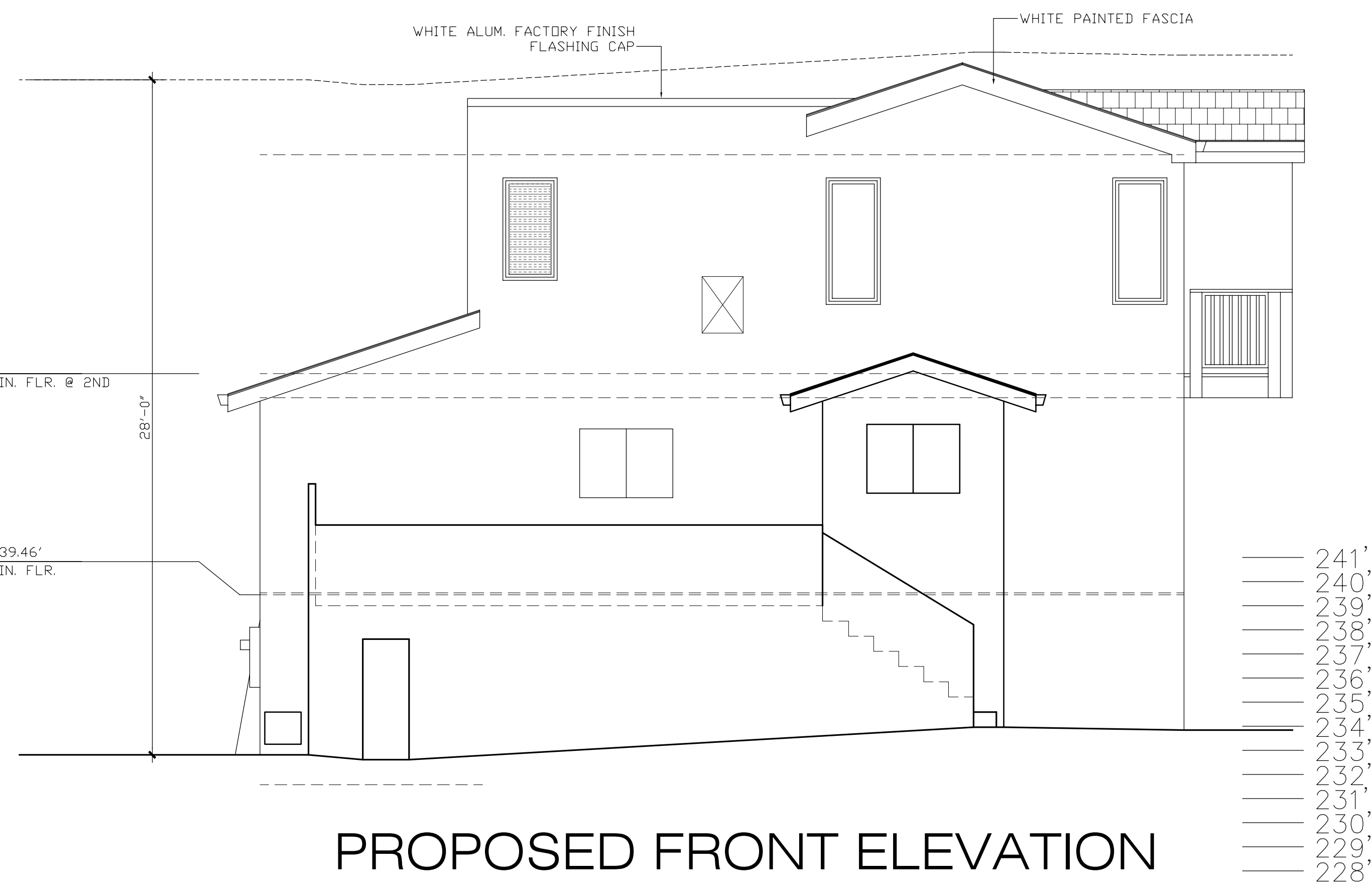
**2ND FLOOR ADDITION**  
 2110 HILLCREST  
 REDWOOD CITY (EMERALD HILLS), CA

1/4"=1'-0"

**A3.1**

Note: If this sheet is 12"x18" scale is half size

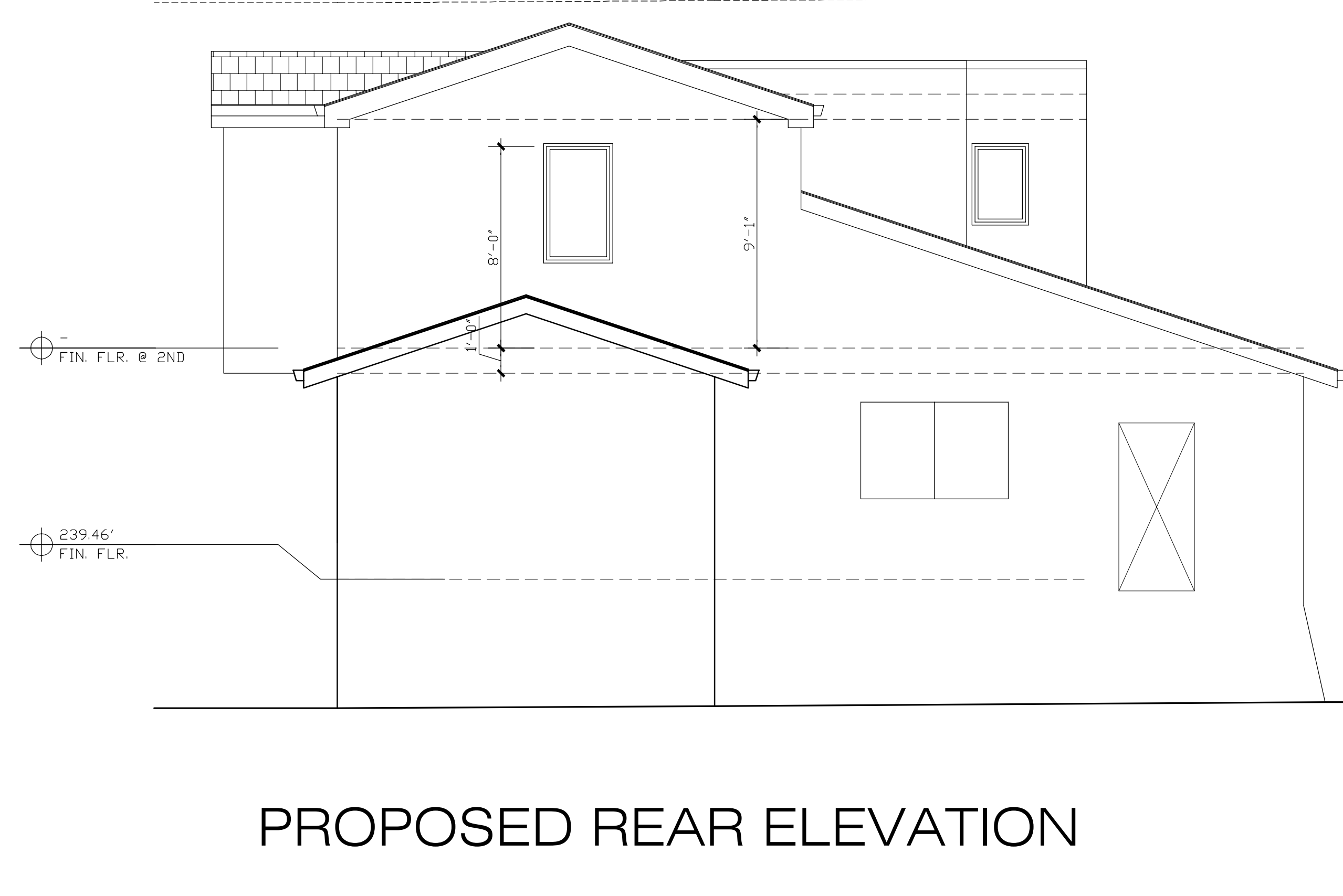
TYPICAL EXT. MAT'LS.



PROPOSED FRONT ELEVATION



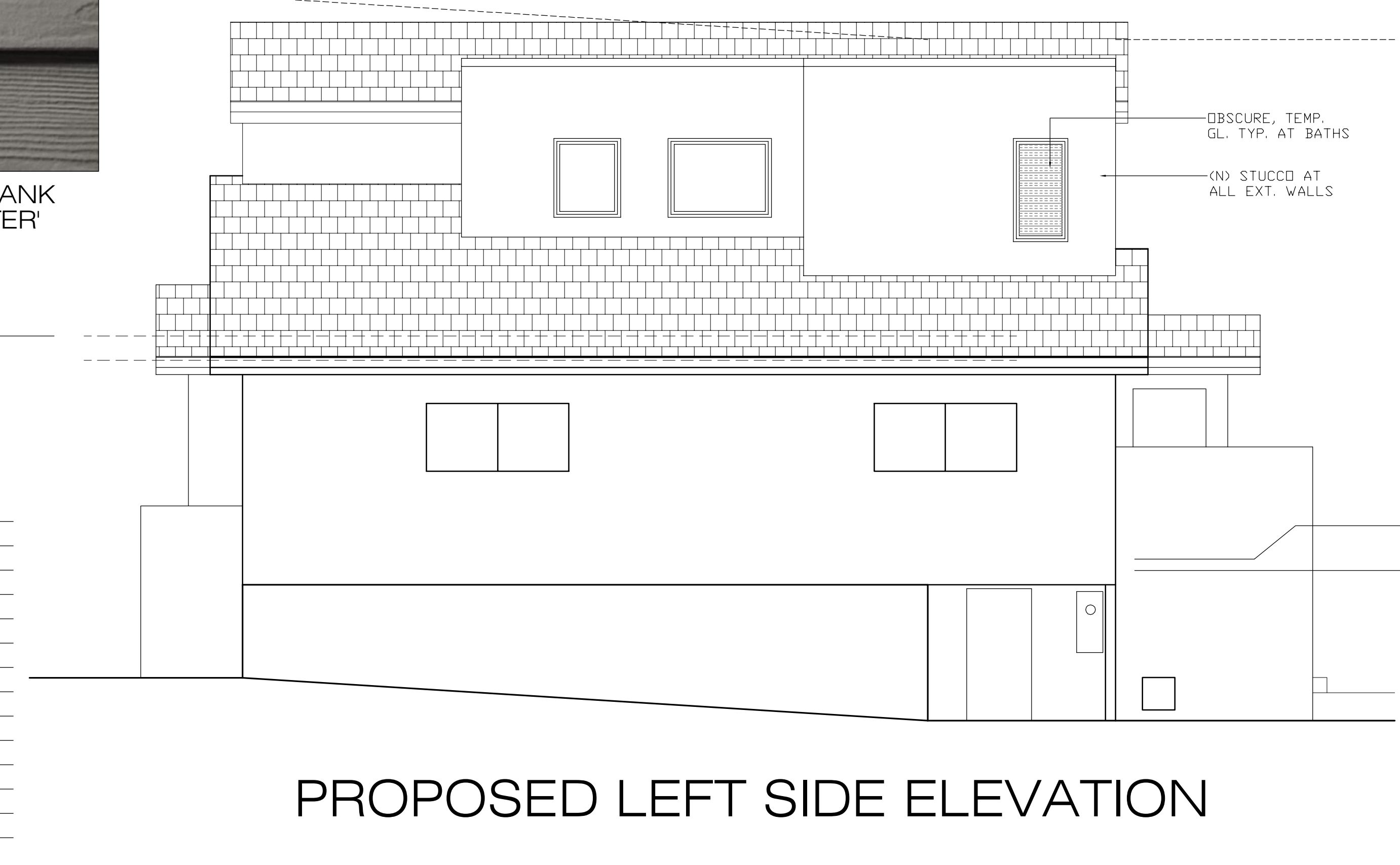
PROPOSED RIGHT SIDE ELEVATION



PROPOSED REAR ELEVATION



CEDARMILL HARDPLANK SIDING - 'AGED PEWTER'



PROPOSED LEFT SIDE ELEVATION



Cool Antique Slate

DATE

ISSUED FOR

REGISTERED ARCHITECT

MARK BUCCIARELLI

No. C-23159

3/31/23

Renewal Date

STATE OF CALIFORNIA

**BAUKUNST**

88 Fairlawn Avenue, Daly City, CA 94015

T: 650.455.1207

E: baukunst2000@yahoo.com W: baukunstarchitecture.com

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**2ND FLOOR ADDITION**

2110 HILLCREST

REDWOOD CITY (EMERALD HILLS), CA

1/4"=1'-0"

**A3.2**

Note: If this sheet is 12"x18" scale is half size

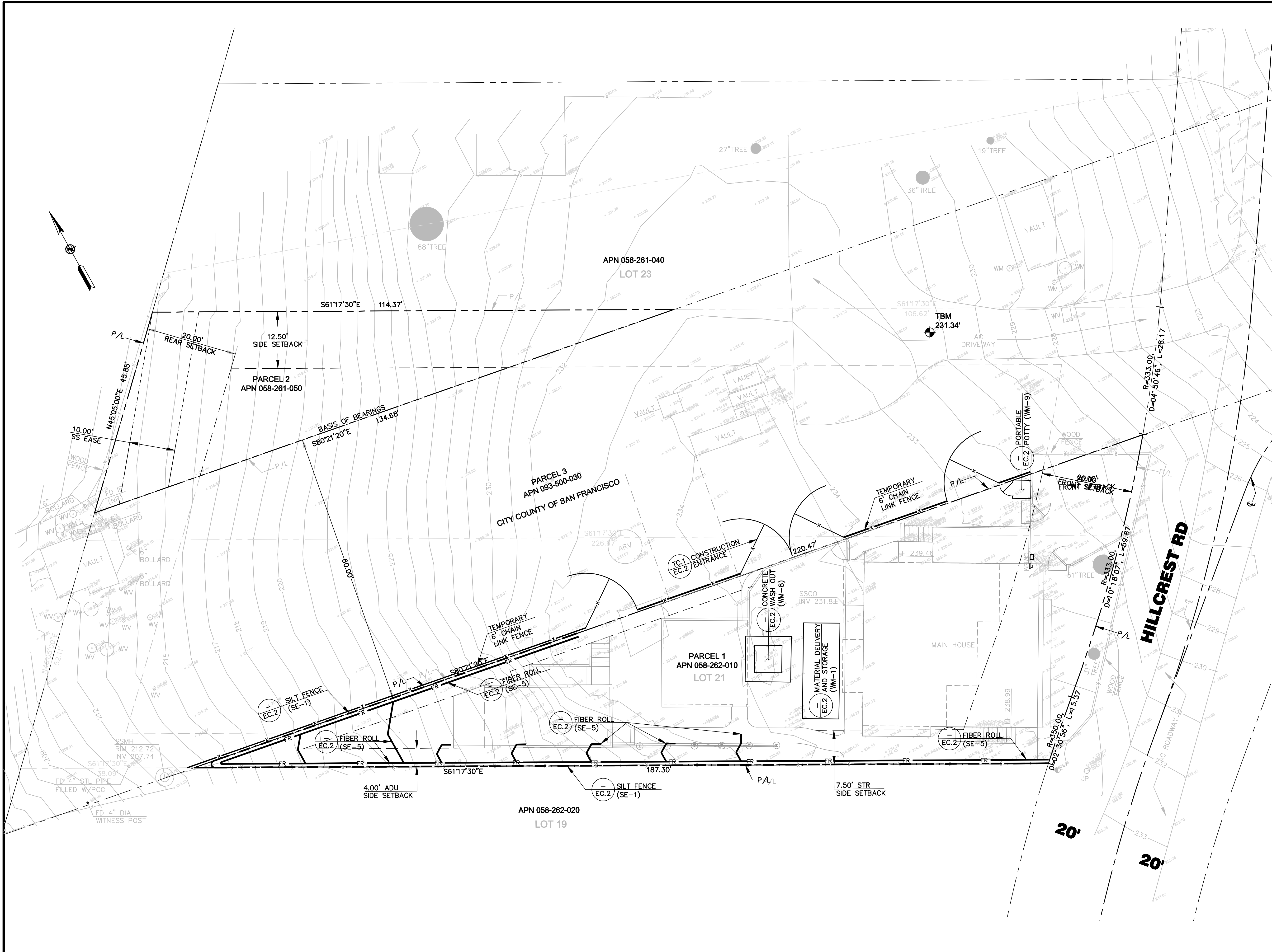


**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
2. EROSION CONTROL MEASURES SHALL CONFORM TO FEDERAL, STATE, CASQA, ABAG, AND MUNICIPAL STANDARDS.
3. SEDIMENT/EROSION CONTROL MEASURES SHOWN ON THIS SHEET ARE THE MINIMUM REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES AS DEEMED NECESSARY TO ASSURE ADEQUATE PROTECTION DURING THE PROGRESS OF CONSTRUCTION AND AT THE CONTRACTOR'S EXPENSE.
4. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE ENGINEER OF ANY FIELD CHANGES. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE BUILDING INSPECTOR OR BUILDING OFFICIALS.
5. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 30). FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
6. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE MUNICIPALITY.
7. ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE ON SITE BY SEPTEMBER 15TH AND IN PLACE BY OCTOBER 1ST.
8. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 1ST THROUGH APRIL 30TH, WHICHEVER IS LONGER.
9. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.
10. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
11. PROJECTS MUST HAVE ALL CUT AND FILL SLOPES PROTECTED BY AND DISTURBED AREAS BY ONE OF THE FOLLOWING MEASURES OR THE COMBINATION OF THEM: TEMPORARY SEEDING AND MULCHING, PERMANENT SEEDING AND MULCHING, HYDROMULCHING-HYDROSEEDING, EROSION CONTROL BLANKETS/GEOTEXTILES, AND FIBER ROLLS.
12. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
13. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING, MONITORING, AND REPAIRING EROSION CONTROL MEASURES AND SYSTEMS BEFORE, DURING AND AFTER EACH STORM. OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS.
15. PROJECTS SHALL PREVENT ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEM.
16. FAILURE TO IMPLEMENT EROSION CONTROL MEASURES DURING PERIODS OF RAINFALL MAY RESULT IN A PROHIBITION OF ANY ADDITIONAL CONSTRUCTION DURING THE REMAINDER OF THE RAINY SEASON.

**DUST CONTROL NOTES**

1. THE APPLICANT SHALL SUBMIT A DUST CONTROL PLAN FOR THE PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT ASSOCIATED WITH ANY PROPOSED DEMOLITION OR CONSTRUCTION ACTIVITIES. THE PLAN SHALL INCLUDE THE FOLLOWING CONTROL MEASURES:
    - a. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
    - b. WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND.
    - c. COVER ALL TRUCKS HAULING SOIL AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO (2) FEET OF FREEBOARD.
    - d. APPLY WATER THREE TIMES DAILY OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING, AND STAGING AREAS AT CONSTRUCTION SITES. ALSO, HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTIVE AREAS.
    - e. SWEEP (PREFERABLY WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING, AND STAGING AREAS AT CONSTRUCTION SITES ON AN 'AS NEEDED' BASIS.
    - f. SWEEP ADJACENT PUBLIC STREETS (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO THEM.
    - g. ENCLOSE, COVER, WATER OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.) ON AN 'AS NEEDED' BASIS.
    - h. LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS WITHIN THE PROJECT PARCEL TO 15 M.P.H. INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS AND/OR THE ADJACENT WATERWAY.
    - i. REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.
- THE APPROVED PLAN SHALL BE IMPLEMENTED FOR THE DURATION OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES THAT GENERATE DUST AND OTHER AIRBORNE PARTICLES.



**JET ENGINEERING**  
CONSULTING CIVIL ENGINEERS  
1048 EL CAMINO REAL, SUITE C  
REDWOOD CITY, CA 94063

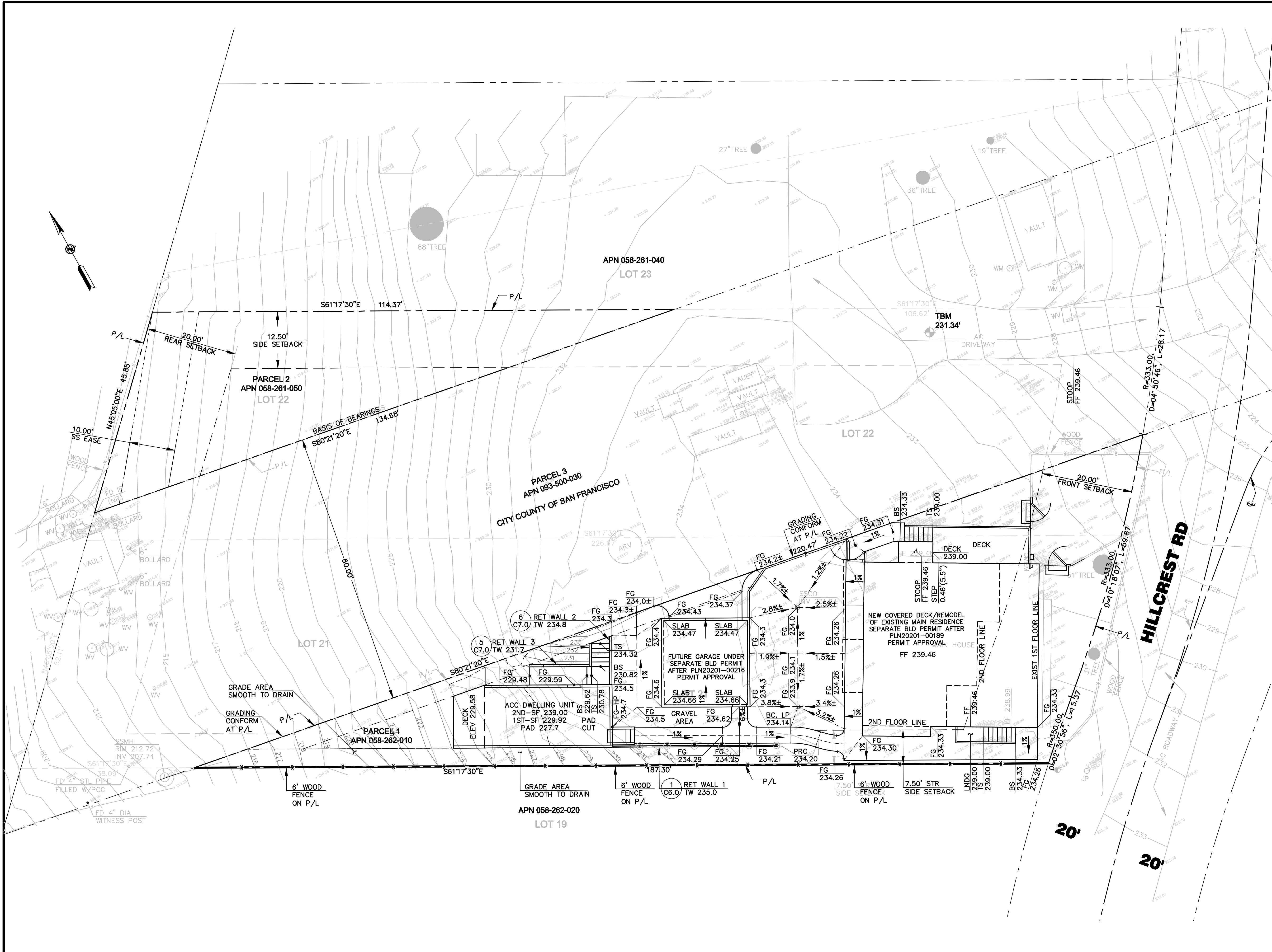
**LANDS OF MEDIOS & BAYANGOS**  
**2110 HILLCREST RD**  
REDWOOD CITY, CA 94061

**EROSION CONTROL PLAN**

REVISIONS			
NO.	DATE	DESCRIPTION	BY

JOB NO. **R2110-H-19**  
DATE: **02/02/22**  
DRAWN: **DC**  
CHECKED: **JET**  
SCALE: **1" = 10'**

SHEET NO.  
**EC.1**  
13 OF 14 SHEETS



ESTIMATED EARTHWORK QUANTITIES

CUT YARDS (CY)	FILL YARDS (CY)	NET IMPORT (CY)
17.23	40.41	23.19(F)

- CUT / FILL LINES SHOWN IN SITE GRADING AREAS ARE BETWEEN FINISH GRADES SHOWN ON SHEET C4.1 AND EXISTING GRADES SHOWN ON THE TOPOGRAPHIC SURVEY SHEET C3.0
- ALL EARTHWORK QUANTITIES ARE BASED UPON THE FINISH GRADES SHOWN ON THE GRADING AND DRAINAGE PLAN AND ARE IN BANK YARDS WITHOUT ADJUSTMENTS FOR EXPANSION.



**JET ENGINEERING**  
 CONSULTING CIVIL ENGINEERS  
 1048 EL CAMINO REAL, SUITE C  
 REDWOOD CITY, CA 94063

**LANDS OF MEDIOS & BAYANGOS**  
 2110 HILLCREST RD  
 REDWOOD CITY, CA 94061

**GRADING PLAN**

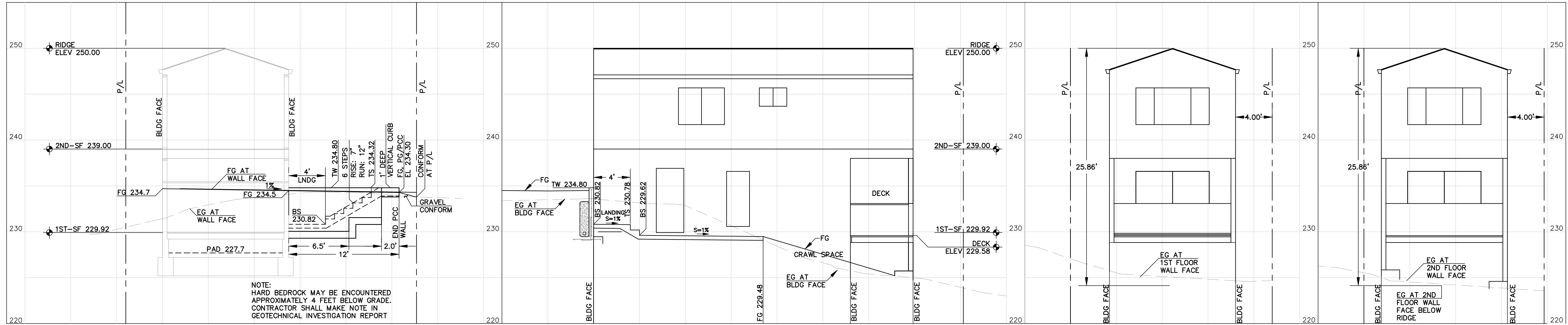
REVISIONS			
NO.	DATE	DESCRIPTION	BY

JOB NO.	R2110-H-19
DATE:	02/02/22
DRAWN:	DC
CHECKED:	JET
SCALE:	1" = 10'

SHEET NO.  
**C4.1**  
 5 OF 14 SHEETS





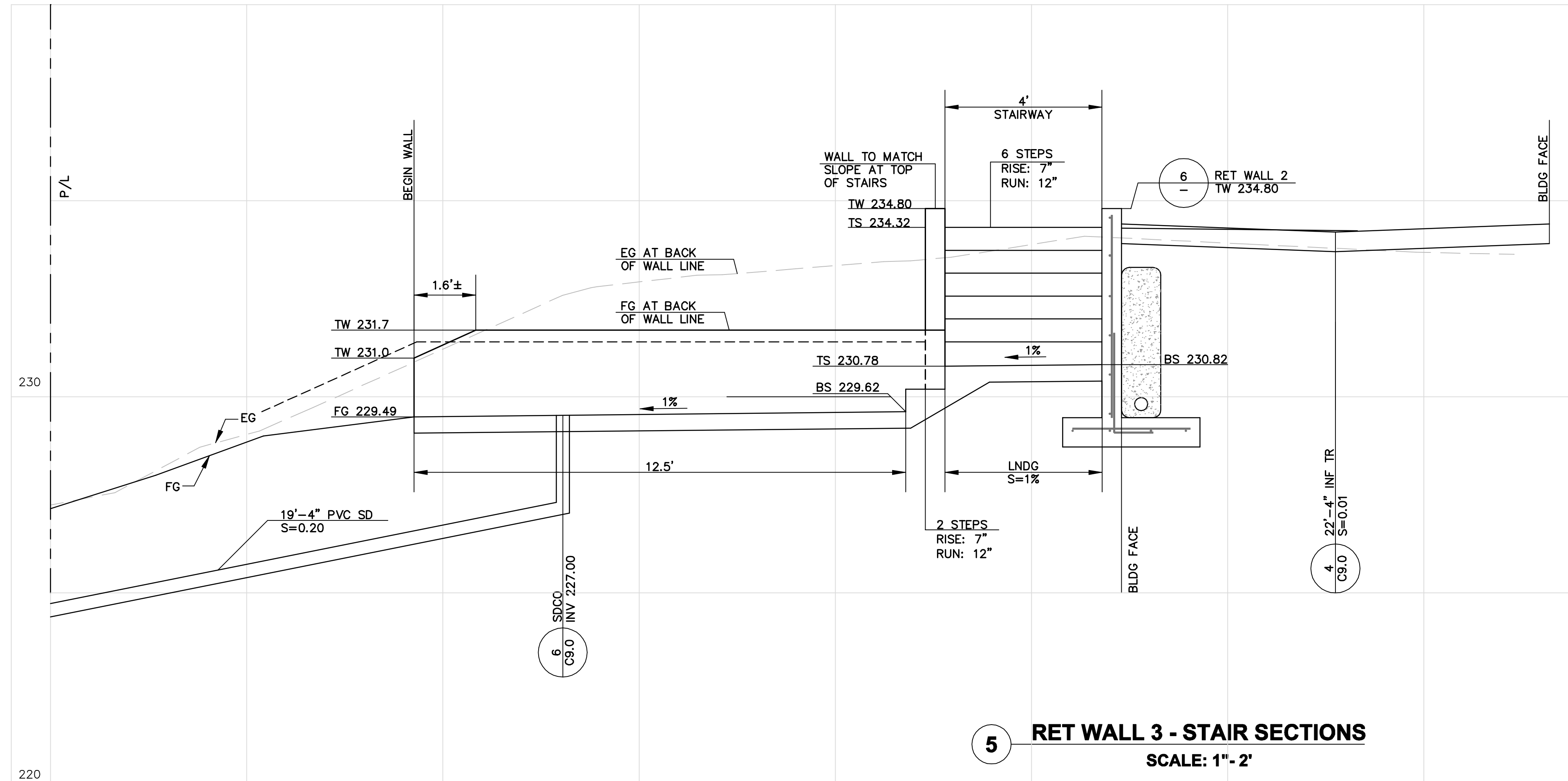


**1 EAST ELEVATION**  
SCALE: 1" - 5'

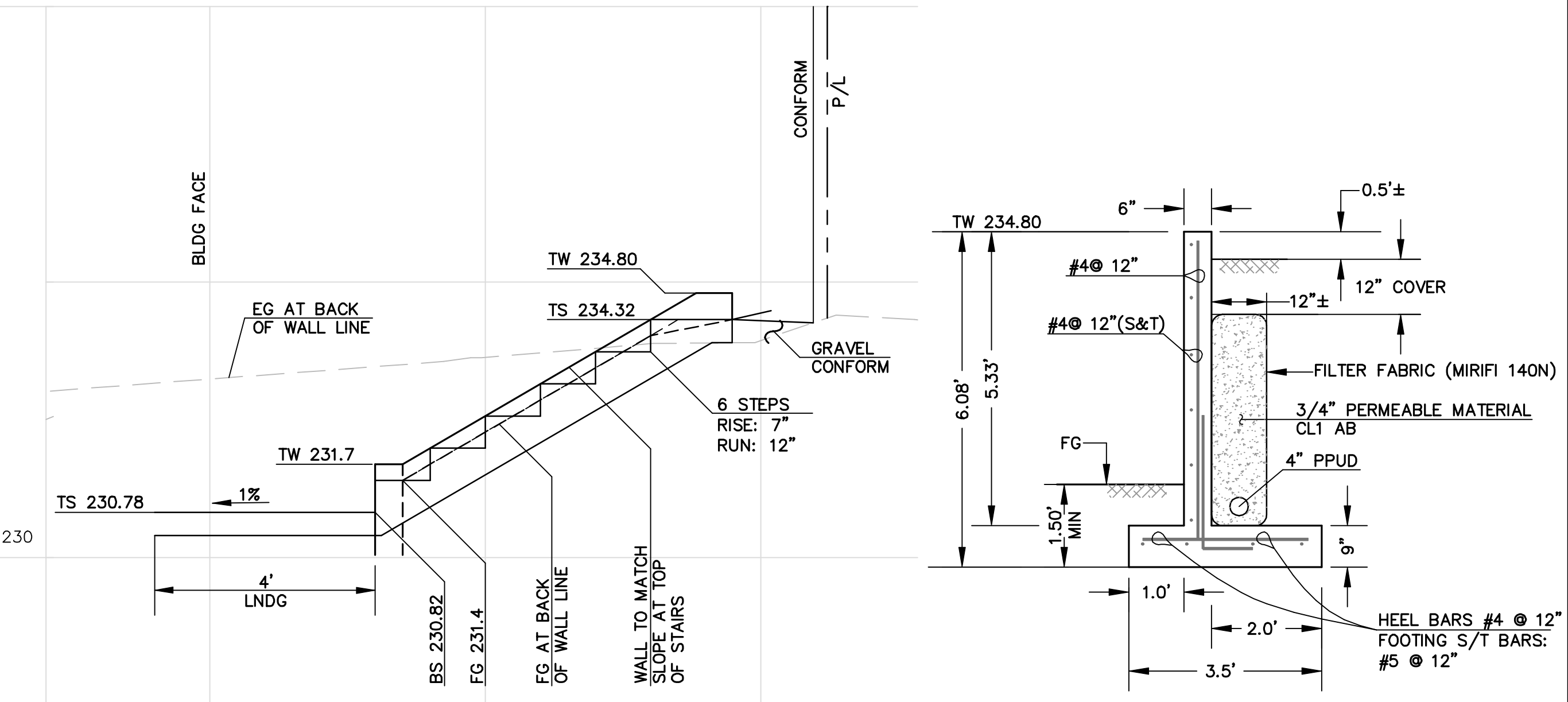
**2 NORTH ELEVATION**  
SCALE: 1" - 5'

**3 WEST ELEVATION AT 1ST FLOOR FACE**  
SCALE: 1" - 5'

**4 WEST ELEVATION AT 2ND FLOOR FACE**  
SCALE: 1" - 5'



**5 RET WALL 3 - STAIR SECTIONS**  
SCALE: 1" - 2'



**6 PCC RET WALL 2 DETAIL**  
SCALE: 1" - 2'

**JET ENGINEERING**  
CONSULTING CIVIL ENGINEERS  
1048 EL CAMINO REAL, SUITE C  
REDWOOD CITY, CA 94063

**LANDS OF MEDIOS & BAYANGOS**  
2110 HILLCREST RD  
REDWOOD CITY, CA 94061

**BUILDING ELEVATIONS AND STAIR SECTIONS**

REVISIONS			
NO.	DATE	DESCRIPTION	BY

JOB NO. **R2110-H-19**  
DATE: **02/02/22**  
DRAWN: **DC**  
CHECKED: **JET**  
SCALE: **AS SHOWN**

SHEET NO.  
**C7.0**  
8 OF 14 SHEETS





**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT D**

# Kielty Arborist Services

Certified Arborist WE#10724A

P.O. Box 6187

San Mateo, CA 94403

650-532-4418

February 28<sup>th</sup>, 2022

JET Engineering

Attn: James E. Thompson

1048 El Camino Real, Suite C

Redwood City CA 94063

Site: 2110 Hillcrest Road, Redwood City CA (SM County)

Dear JET Engineering,

As requested on Thursday, February 17<sup>th</sup>, 2022, Kielty Arborist Services visited the above site for the purpose of providing a Tree Inventory Report/Tree Protection Plan for the proposed construction. A second story home addition and ADU are proposed for this site, and as needed an Arborist Report is required when submitting plans to the county of San Mateo. Civil plans C1 through C10 dated 2/2/22 were reviewed for writing this report. This Tree Inventory Report is not a Tree Risk Assessment. As such, no trees were assessed for risk in accordance with industry standards, nor are there any tree risk ratings or risk mitigation recommendations provided within this preservation plan.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

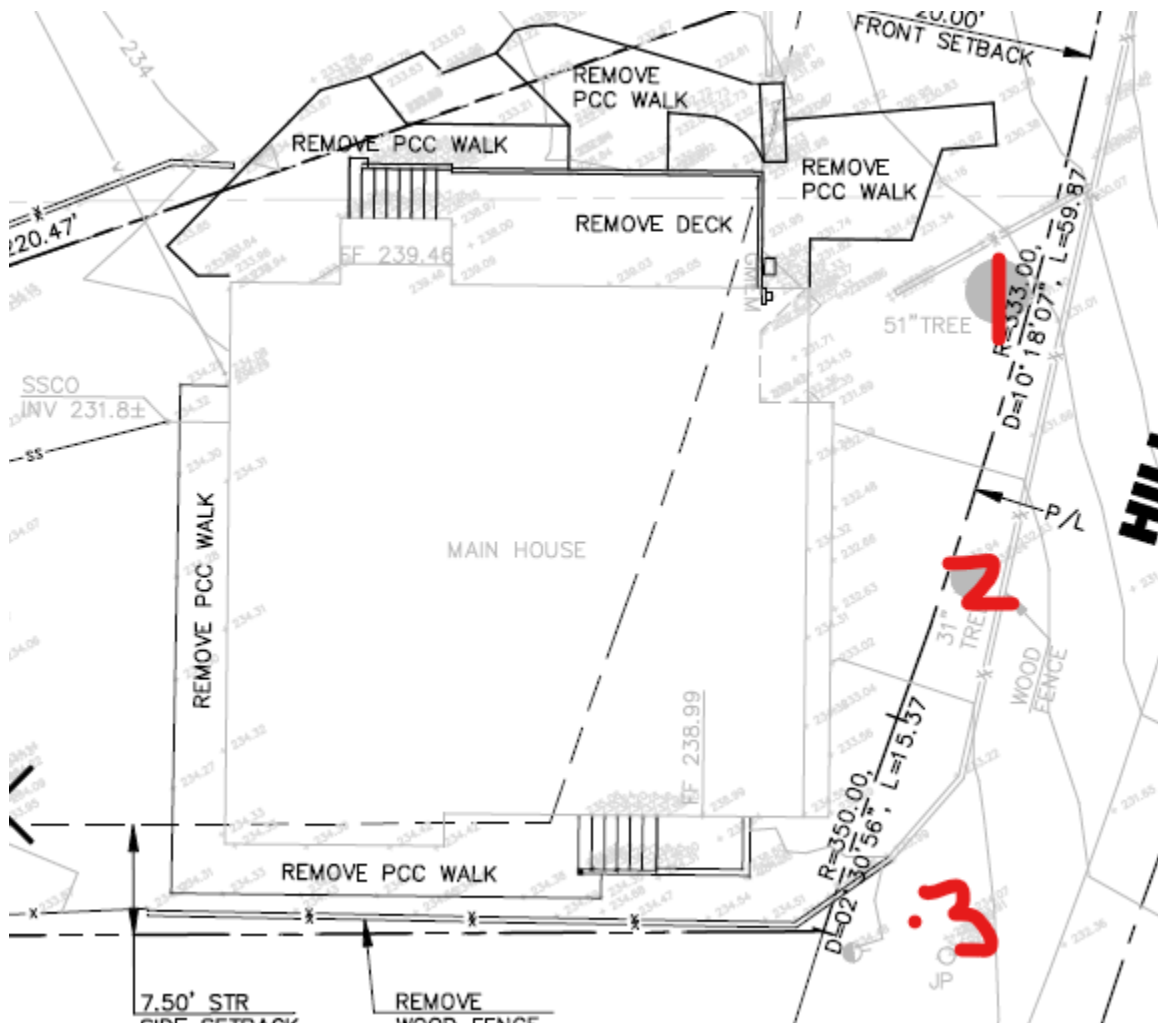
The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

**Survey Key:**

**DBH**-Diameter at breast height (54 inches above grade) **CON**- Condition rating

**HT/SP**-Tree height/canopy spread (in feet) **S**- Significant tree by County ordinance.(Protected)

Tree#	Species	DBH	CON	HT/SP	Comments
1S	Coast Live Oak ( <i>Quercus agrifolia</i> ) (19.3-22.1-25.8 at 54" above grade)	42.5	50	35/45	Good vigor, poor form, codominant at 3', middle of canopy topped for line clearance, pruned for roof clearance in past.
2S	Monterey Pine ( <i>Pinus radiata</i> )	26.7	45	35/20	Fair vigor, poor form, topped for line clearance.
3S	Coast Live Oak ( <i>Quercus agrifolia</i> ) (14.5-21.0 at 54" above grade)	30.8	50	35/40	Fair vigor, poor form, topped for utilities, codominant at 2', resting against utility pole.



Showing tree locations

**ALL 3 TREES ARE "SIGNIFICANT" TREES**

**Summary of trees:**

Coast Live Oak tree #1 is in fair condition. The tree has been topped for utility line clearance in the past creating poor tree form. The tree has been allowed to grow horizontally but not vertically creating heavy lateral limbs. The tree is codominant at 3'. The tree was measured below the codominant union to get the diameter measurement of 42.5". At 54" above grade the tree is split into 3 trunks (measurements shown in survey). In the past the tree has been pruned away from the building roof for clearance. General crown reduction pruning is recommended for this tree in the future to reduce risk of a leader failure due to the tree's poor form.



**Showing Coast Live Oak tree #1**



Monterey Pine tree #2 is in poor condition. The tree has been topped for utility line clearance. Monterey Pine trees have been suffering throughout the entire Bay Area due to prolonged drought conditions, bark beetles, and pine pitch canker disease. This tree is expected to have a short lifespan.

**Showing Monterey Pine tree #2**

Coast Live Oak tree #3 is in fair condition. The tree has been topped for utilities in the past and is codominant at 2'. The tree is resting against a utility pole. The tree was measured below the codominant union to get the diameter measurement of 30.8". At 54" above grade the tree splits into 2 trunks (measurement shown in survey).



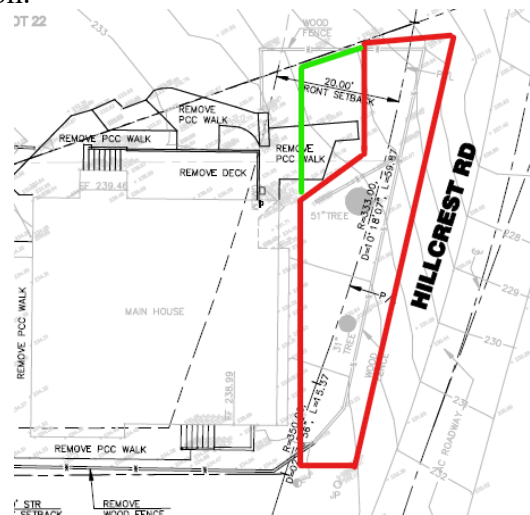
**Showing Oak tree #3 from 2 different angles**

**Impacts/Recommendations:**

A small area of concrete is proposed to be demolished near Oak tree #1. The demolition of the concrete area is recommended to take place by hand under the Project Arborist supervision. A jackhammer can be used to break the material into small hand manageable sized pieces. Any exposed roots during this process will need to be protected and remain as damage free as possible. While roots are exposed, they are recommended to be covered in layers of wetted down burlap to avoid root desiccation. The contractor is recommended to wet down the burlap once a day while exposed. Exposed roots are recommended to be covered by native or imported soil as soon as possible and with the area irrigated using 50 gallons of clean water. No impacts are expected for the Oak tree if done as described above. No other impacts to the trees are expected due to the proposed work on site as no other work is shown near the trees. No pruning will be needed for the addition of the second story as the second story is set back far enough away from the trees that no pruning will be needed. The trees are required to be protected as described below in the Tree Protection Plan.

**Tree Protection Plan:****Tree protection fencing**

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for protection zones should consist of 5-foot tall, orange plastic fencing supported by poles pounded into the ground, located at the tree driplines where possible. Where proposed work or existing hardscapes/foundations exist, fencing shall be placed as close as possible to the existing structures or hardscapes. No equipment or materials should be stored or cleaned inside protection zones. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". If fencing needs to be reduced for access or any other reasons, the non-protected areas must be protected by a landscape buffer. All tree protection and inspection schedule measures, design recommendations, watering and construction scheduling shall be implemented in full by the owner and contractor. On this site tree protection fencing will need to be expanded after the demolition of the concrete area near tree #1. See the provided diagram below as a visual description.



**Showing the recommended tree protection fencing location. Green line indicates fencing to be installed after the demolition of the concrete**

### Landscape Buffer

Where tree protection does not cover the entire root zone of the trees or when a reduced tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches will be placed where foot traffic is expected to be heavy. On top of the wood chips plywood boards shall be installed. The landscape buffer will help to reduce compaction to the unprotected root zone.

### Root Cutting

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend irrigation or fertilizing at that time. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. All roots encountered measuring 2 inches in diameter or over shall be exposed and remain damage free for the site arborist to view. Mitigation measures will be applied at this time.

### Trenching and Excavation

Trenching for irrigation, electrical, drainage or any other reason, should be hand dug when beneath the dripline of desired trees. Hand digging and careful placement of pipes below or beside protected roots will dramatically reduce root loss, thus reducing trauma to desired trees. Trenches should be back filled as soon as possible using native materials and compacted to near original levels. Trenches to be left open with exposed roots shall be covered with burlap and kept moist. Plywood laid over the trench will help to protect roots below.

### Irrigation

Normal irrigation should be maintained throughout the entire length of the project for Monterey Pine tree #2. The tree is recommended to be irrigated with 10 gallons of water every 2 weeks during the dry season. Native oaks do not require supplemental irrigation unless they are to be traumatized. Oaks should only be irrigated during the monthly of May and September during years of prolonged drought.

### Inspections

The site will be inspected after the tree protection measures are installed and before the start of construction. Other inspections will be carried out on an as needed basis. Any time excavation is needed underneath the dripline of a protected tree, the site arborist must be notified 48 hours in advance so that a site visit can be scheduled during the proposed work.

This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

David Beckham Certified Arborist WE#10724A

*David Beckham*



## Kielty Arborist Services

P.O. Box 6187  
San Mateo, CA 94403  
650-532-4418

### ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

*Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.*

Arborist: David Beckham  
David Beckham

Date: February 28<sup>th</sup>, 2022



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT E**

# Application for a Zoning Nonconformity Use Permit

455 County Center, 2nd Floor, Redwood City, CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Applicant's Name : \_\_\_\_\_

Primary Permit #: \_\_\_\_\_

## Companion Page

### 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Zoning Nonconformity Use Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form, and, if applicable, a copy of a building permit or Assessor's records indicating that your nonconforming structure was built legally.

### 2. Project Information

This application is for:

- Expansion of a legal, nonconforming structure on a standard-sized parcel.
- Expansion of a legal, nonconforming structure on a substandard parcel.
- New nonconforming structure on a substandard parcel.
- New conforming structure on a substandard parcel per Zoning Regulations Section 6133.3(b).

Zoning: \_\_\_\_\_

Existing nonconformity: \_\_\_\_\_  
(Examples: 3 ft. side setback, 40% lot coverage)

Parcel size: \_\_\_\_\_

Proposed nonconformity: \_\_\_\_\_

### 3. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required finding:

**1. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

The County must make four additional findings for projects involving substandard parcels:

**2. The proposed development is proportioned to the size of the parcel on which it is being built.**

**3. All opportunities to acquire additional contiguous land have been investigated.**

**4. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.**

**5. Use permit approval does not constitute a granting of special privileges.**

Write a brief statement in which you present evidence to support the required findings.

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**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT F**

November 10, 2021

**VIA EMAIL TO: [EADAMS@SMCGOV.ORG](mailto:EADAMS@SMCGOV.ORG), [WMERCADO@SMCGOV.ORG](mailto:WMERCADO@SMCGOV.ORG),  
[PLANNINGPROJECTS@SMCGOV.ORG](mailto:PLANNINGPROJECTS@SMCGOV.ORG) AND [BUILDINGCOUNTER@SMCGOV.ORG](mailto:BUILDINGCOUNTER@SMCGOV.ORG)**

Ms. Erica Adams  
Mr. Wesley Mercado  
San Mateo County  
Planning and Building Department  
455 County Center  
Redwood City, CA 94063

**Re: Proposed Accessory Dwelling Unit Construction- 2110 Hillcrest Road, Redwood City**

Dear Ms. Adams and Mr. Mercado:

Thank you for notifying the San Francisco Public Utilities Commission (the "SFPUC") regarding the proposed Accessory Dwelling Unit ("ADU") and second story construction located at 2110 Hillcrest Road in Redwood City (the "Hillcrest Road Property"). We understand that Dean Bayangos and Erwin Medios own the residential improvements at the Hillcrest Road Property.

We write to insist that the San Mateo County Planning and Building Department (the "County") require the proposed plans for the ADU and deck construction within the Hillcrest Road Property be revised to provide four-foot setbacks on both the left and right boundaries of the SFPUC Property (as defined below) and to further impose the setback requirement on the proposed stairwell. The County failed to impose these four-foot setback requirements because of its inaccurate assessment of the SFPUC Property as an easement, as opposed to a fee interest.

**Inaccurate Easement Characterization of the SFPUC Property as an Easement**

The City and County of San Francisco ("San Francisco"), through the SFPUC, **owns in fee** a 60-foot wide pipeline right of way (the "SFPUC Property") located adjacent to the Hillcrest Road Property. San Francisco owns the SFPUC Property in fee pursuant to the enclosed deed. The SFPUC Property is part of the Hetch Hetchy Regional Water System right-of-way. The SFPUC Property contains three large subsurface

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Commissioner

**Dennis J. Herrera**  
General Manager



high-pressure water transmission pipelines as well as critical above-ground appurtenances and a service connection.

Please see the map below, which generally depicts the SFPUC Property in relation to the Hillcrest Road Property.



In an email dated October 25, 2021, from the County to Emily Read, the SFPUC's Right of Way Manager, the County mischaracterized the SFPUC Property as an easement.

The County's mischaracterization has serious implications. Because the SFPUC Property was deemed to be an easement, the County did not impose a four-foot setback requirement on the ADU project sponsors.

In addition to the County's decision to not impose the setback requirements, the SFPUC also objects to the project's proposed stairwell leading from the ADU directly to the SFPUC Property. The SFPUC requires that the County impose the four-foot setback condition on the stairwell and that the stairwell be redesigned and reoriented to exit within the Hillcrest Road Property and not onto the SFPUC Property. Among other reasons, in the event the SFPUC needs to perform work or repairs within the SFPUC Property at the proposed site of the stairwell placement, the Hillcrest Road Property residents' access will be compromised during the period of the work. This necessitates an alternate means of access to the ADU that does not require use of the SFPUC Property.

Again, we appreciate the notice that the County provided to the SFPUC Right of Way Manager regarding the proposed ADU construction adjacent to the SFPUC Property. However, we are concerned that the SFPUC was not notified earlier in the process. We understand that this project was being reviewed on a ministerial basis, but given that the SFPUC Property is a fee interest and the setbacks have not been met, we do not believe that this property qualifies for ministerial review and warrants a higher level of scrutiny.

We would like to request a formal early notification process and partnership between the County and the SFPUC that includes an email notification for ADU construction projects adjacent to the SFPUC Property in addition to meaningful opportunities for the SFPUC to provide comments and suggestions regarding future ADU projects that may have an impact on the SFPUC's lands and its pipeline interests *prior to* the County issuing any approvals. We would be happy to arrange a meeting to further discuss this matter.

Please contact, the Right of Way Manager, Emily Read at (650) 652-3204 or Heather Rodgers of SFPUC Real Estate Services at (415) 916-6811 with any questions.

We look forward to working with you.

Sincerely,

Rosanna Russell  
SFPUC Real Estate Director

Enclosures: Deed