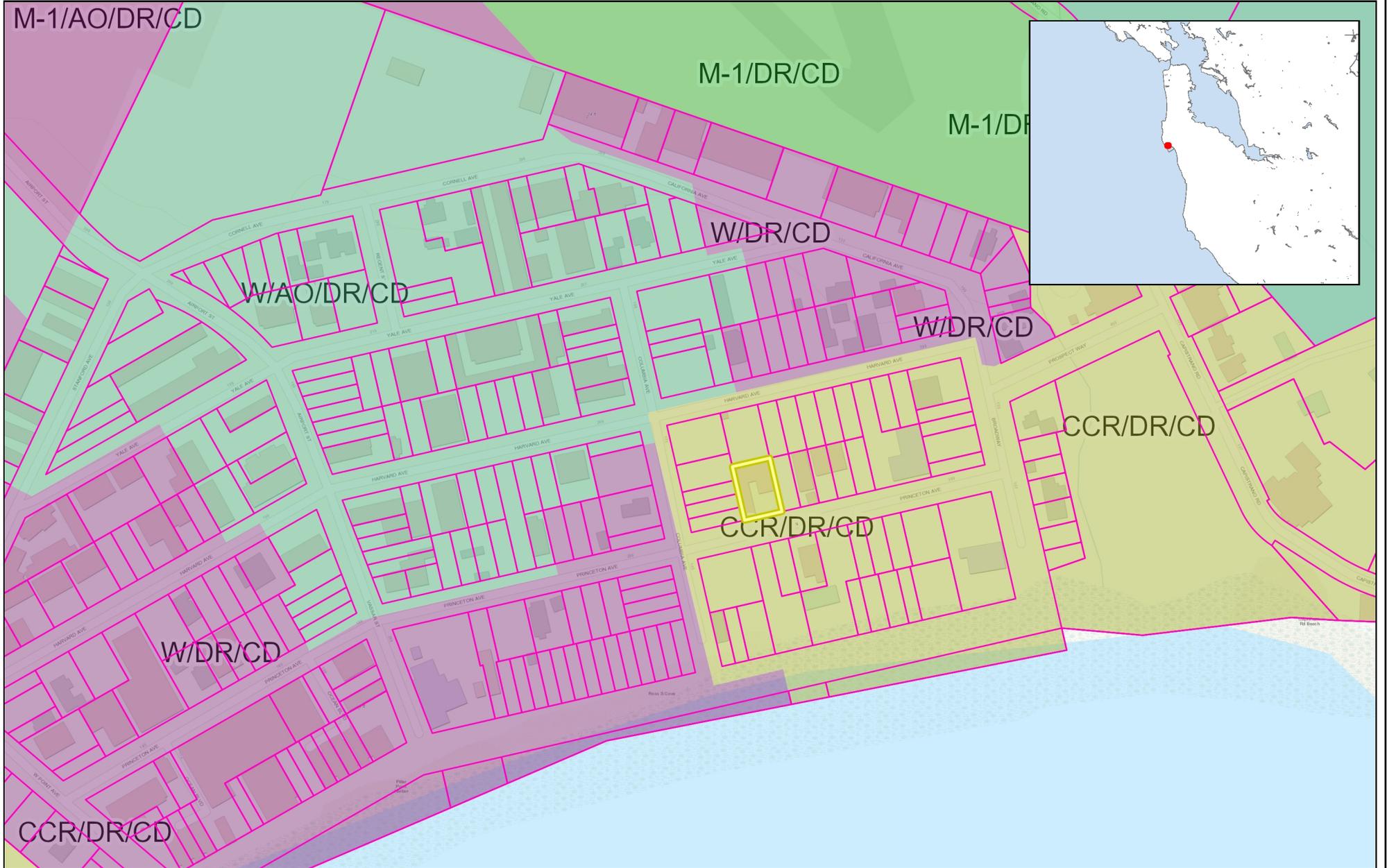




**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT B**



0.12 0 0.06 0.12 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:3,647

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

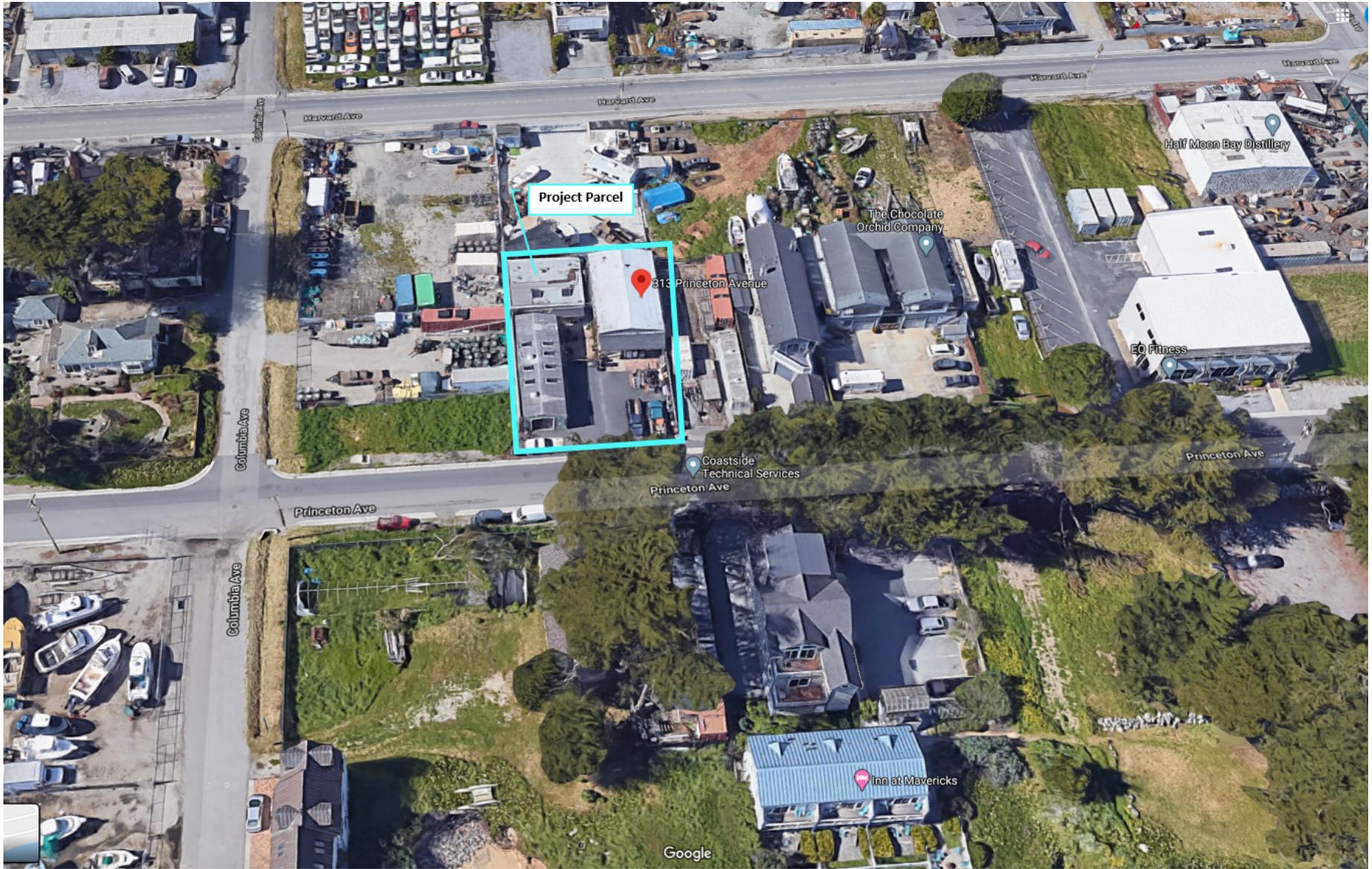


WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 © Latitude Geographics Group Ltd.

1:1,823

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**





**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT C**

### Abbreviations

(E) (N) (R)	Existing New Remove	F.A. F.D. F.E. F.E.C. F.H. F.H.C. F.P. FDN. FIN. F.O.C. F.O.F. F.O.S. FRMG. FTG. FUT.	Fire Alarm Floor Drain Fire Extinguisher Fire Extinguisher Cab Fire Hydrant Fire Hose Cabinet Fireproof Foundation Finish Face Of Conc Face Of Finish Face Of Stud Framing Footing Future	P.H. P.LAM. P.T.D. PL. PLAS. PLWD. PR. PTDF R.D. R.O. R.W.L. REF. REINF. REQD. RESIL. RM. RWD.	Panic Hardware Plastic Laminate Paper Towel Disp. Plate Plaster Plywood Pair Pressure Treated Douglas Fir Roof Drain Rough Opening Rain Water Leader Refer To: Reinforced Required Resilient Room Redwood
A.B. A.C. ADJ. ALUM. ANCH. APPROX. ARCH. ASPH.	Anchor Bolt Asphalt Concrete Adjustable Aluminum Anchor Approximately Architectural Asphalt	F.I. F.H. F.H.C. F.P. FDN. FIN. F.O.C. F.O.F. F.O.S. FRMG. FTG. FUT.	Fire Alarm Fire Extinguisher Fire Extinguisher Cab Fire Hydrant Fire Hose Cabinet Fireproof Foundation Finish Face Of Conc Face Of Finish Face Of Stud Framing Footing Future	P.H. P.LAM. P.T.D. PL. PLAS. PLWD. PR. PTDF R.D. R.O. R.W.L. REF. REINF. REQD. RESIL. RM. RWD.	Panic Hardware Plastic Laminate Paper Towel Disp. Plate Plaster Plywood Pair Pressure Treated Douglas Fir Roof Drain Rough Opening Rain Water Leader Refer To: Reinforced Required Resilient Room Redwood
B.U. BD. BITUM. BLDG. BLK. BLKG. BM. BOT.	Built-Up Board Bituminous Building Block Blocking Beam Bottom	G.B. G.I. GA. GALV. GL. GR.	Grab Bar Galvanized Iron Gauge Galvanized Glass Grade	S.B. S.C. S.C.D. S.D. S.N.D. S.O.V. S.S. SCH. SEC. SHT. SHTHG. SPEC. SPL. STA. STD. STRUC. SUSP.	Solid Blocking Solid Core Seat Cover Disp. Soap Dispenser Sanitary Napkin Dispenser Shut Off Valve Sewer System Schedule Section Sheet Sheathing Specification Splash Station Standard Structural Suspended
C. C. BD. C.B. C.I. C.J. C.O.T.G. CAB. CEM CLG. CLO. CLR. COL. COMP. CONC. CONST. CONT. CORR. CTR. CTS.K. CW.	Conduit Chalk Board Catch Basin Cast Iron Construction Joint Clean Out To Grade Cabinet Cement Ceiling Closet Clear Column Composition Concrete Construction Continuous Corridor Center Countersink Cold Water	H.B. H.C. H.M. HR. HT. I.D. I.D.F. I.E. INSUL. INT. INV. J.H. JAN. JT. LAB. LAM. LAV. LT.	Hose Bib Hollow Core Hollow Metal Hour Height Inside Diameter Intermed. Dist. Frame Invert Elevation Insulation Interior Invert Joist Hanger Janitor Joint	S.B. S.C. S.C.D. S.D. S.N.D. S.O.V. S.S. SCH. SEC. SHT. SHTHG. SPEC. SPL. STA. STD. STRUC. SUSP.	Solid Blocking Solid Core Seat Cover Disp. Soap Dispenser Sanitary Napkin Dispenser Shut Off Valve Sewer System Schedule Section Sheet Sheathing Specification Splash Station Standard Structural Suspended
D.F. D.S. D.S.P. DBL. DEPT. DET. DIA. DIM. DISP. DN. DWG.	Drinking Fountain Downspout Dry Standpipe Double Department Detail Diameter Dimension Dispenser Down Drawing	MAX. M.B. M.D.F. MEMB. MFR. M.H. MIN. MIR. M.O. MTD. MTL. MUL.	Maximum Marker Board Main Dist. Frame Membrane Manufacturer Manhole Minimum Mirror Mosony Opening Mounted Metal Mullion	U.O.N. UR. V.C.T. V.C.TB. VEST.	Unless Otherwise Noted Urinal Vinyl Comp. Tile Vinyl Covered Tackboard Vestibule
E.F. E.J. E.P. EA. ELEC. ELEV. EMER. ENCL. EQ. EQUIP. EWC	Exhaust Fan Expansion Joint Electrical Panel Each Electrical Elevation Emergency Enclosure Equal Equipment Electric Water Cooler	N N.I.C. NOM. N.T.S. O.C. O.H. OPG. OPP.	North Not In Contract Nominal Not To Scale On Center Overhang Opening Opposite	W W.B. W.C. W/ W/O WD WP. WT.	Waste White Board Water Closet With Without Wood Waterproof Weight

### Occupancy Calculations

Occupancy Group (Building BZ)	Area (S.F.)	Occupant Load Factor	Total Occupant Load
A-2	270	15	18
Kitchen (Brewing)	325	200	1.6
M (Retail)	N/A	30	0
B (Office)	N/A	100	.33
S-2 (Storage)	100	300	0
Corridors	260	0	0
Stairways	N/A	0	0
Toilet Rooms	65	0	0
Mechanical Rooms	N/A	0	0
Closets	N/A	0	0
<b>Total:</b>	<b>1020</b>		<b>20</b>

Plumbing Fixture Calculations:  
Occupancy A-2  
Occupant: 30 (15M +15F)  
1 water closet: 1 (all gender)  
1 lavatory per 150M: 1 (all gender)

Parking Calculations  
1 per 2,000 s.f. 3,750 s.f. = 2  
1 per 3 Seats 12 seats = 4  
Total Required: = 6 spaces

### Project Data

Existing Lot Size	7,000 s.f.
Existing Floor Area	3,750 s.f.
Existing Lot Coverage	53%
Existing Floor Area Ratio (FAR)	53%
New	No Change

APN: 047-023-420  
Zoning: CCR/DR/CD  
Stories: 1  
Proposed Occupancy Group: A-2 w/o fixed seating  
Construction Type: VB

Form C: Disabled Access 20% Rule  
Estimated Budget: \$10,000  
Accessible Improvements: 20% of \$10,000 = \$2,000  
ACS Parking Striping: \$1,500  
ACS Parking Signage: \$1,000  
Truncated Domes: \$1,000  
Accessible Door: \$1,500  
ADA Signage: \$500  
Total: \$5,500 > \$2,000



# Blue Ocean Brewing

315 Princeton Ave.  
Half Moon Bay, CA  
94019



### Symbol Legend

	Grid Number
	Room Description
	Architectural Room Number
	Classroom Number
	Door Number
	Keynote
	Indicates 1-Hour Rated Wall
	Detail
	Sheet Number
	Section
	Sheet Number
	Interior Elevation
	Sheet Number
	Elevation Point
	(E) Shear Wall
	Indicates Accessible Feature w/30"x48" clear floor space
	Fire Extinguisher 2-A10-B-C with valid certification tag Provided by Owner, installed by Contractor
	Finish Floor Elevation
	(E) Wall to remain
	(N) Wall
	Object to be Demolished
	Line of object above
	Fence Line
	Centerline
	Match Line

### General Notes

These Drawings and their content are and shall remain the property of Stuart Grunow Architecture (SGA) whether the project for which they were prepared is executed or not. They are not to be used by any person other than the Owner or for any other project or extension to this project except by agreement in writing with the Architect.

The Architect expressly reserves his common law copyright and other property rights relating to these Drawings and their content. These Drawings are not to be reproduced, altered or otherwise modified in any manner whatsoever except by the Architect. These Drawings and their content may not be assigned to a third party without written consent of the Architect. In the event of unauthorized use of these Drawings by a third party, the third party shall hold harmless and indemnify the Architect.

These Drawings are an instrument of services performed by the Architect for the benefit of the Owner. They are intended for use in a negotiated construction contract and, therefore, may not detail or specify all materials, manufacturers or assemblies. Details, assemblies and products commonly known to be industry standard for any given trade may not be fully detailed or specified. Where necessary, the Contractor shall provide samples, data, product literature as required to assist the Owner or the Owner's agent in making selections. For the purpose of estimating items not fully detailed the Contractor shall provide an allowance amount and so condition such estimates. The Owner and/or Contractor shall submit to the Architect, in writing, any requests for modifications to the plans or specifications by means of shop drawings, samples or other means as appropriate. Shop drawings that are submitted to the Architect for review do not constitute "in writing" unless it is brought to the attention of the Architect that specific changes are being suggested.

No guarantee for quality of construction is implied or intended by these Documents. The Contractor shall assume full responsibility for any construction deficiencies.

The Owner and Contractor shall hold harmless, indemnify and defend the Architect from any action initiated by the initial Owner, or any subsequent owner, for construction deficiencies, modifications, substitutions, maintenance or any such condition which is beyond the control of the Architect.

All Contract Documents described in the Construction Contract shall be considered one document and are intended to be used as one document. Contractor and all sub-contractors shall review all documents prior to bidding. Sub-contractors are responsible for any information pertaining to their work no matter where it may occur in these Documents.

It is the intent of these Documents to provide for the construction of a moisture proof enclosure of interior space. If the Owner, Contractor or any Sub-contractors become aware of any assembly or condition, either shown in the Drawings or constructed on-site, which does not, in their opinion, satisfy this intent, it is their responsibility to notify the Architect within a reasonable amount of time so that the condition or assembly can be reviewed, and, if necessary, modifications can be made to the Documents or to the Work without impacting the progress of the Work.

All information pertaining to the site shall be, and shall remain, the Owner's responsibility. This information shall include legal description, deed restrictions, easements, site survey, topographic survey, location of existing improvements, soils report, and all related data.

Code Compliance  
All applicable state and local codes, ordinances, legislation, as adopted by the County of San Mateo at time of permit application.

### Fire Department

It is the Contractor's responsibility to identify and familiarize himself with current codes and ordinances including local variations on national or regional codes. Requirements of adopted codes shall supersede any conflicting requirements defined in these Documents. When a conflict is suspected the Contractor shall so advise the Architect in writing within a reasonable time so that the conflict, if it exists, can be resolved without impacting the progress of the Work.

The Contractor shall include and implement all pertinent requirements of this project as set forth in any conditions of approval attached to the project by governing agencies. These conditions shall become a part of the Contract Documents.

Site Examination  
The Contractor shall thoroughly examine the site and satisfy himself as to the conditions under which the Work is to be performed. The Contractor shall verify at the site all measurements and conditions affecting his work and shall be responsible for same unless brought to the attention of the Owner or his agent prior to proceeding with the Work.

Dimension Control  
It is the responsibility of the Contractor to check and verify all conditions, dimensions, lines and levels alignments indicated, proper fit and attachment of all parts is required. Should there be any differences between the Documents and the actual conditions, the Contractor shall notify the Owner or his agent in writing for clarification and/or adjustment. In the event of failure to do so, the Contractor shall be responsible for corrections required or subsequent changes occurring as a result of these differences.

Note to Subcontractors: Location of many items or assemblies is critical for alignment of other assemblies which may be installed by other trades and which may not be installed at the time of installation of your work. All Sub-contractors shall review the manner in which their work fits, aligns or comes into contact with work of other trades. The Contractor and each Sub-contractor shall review all Documents and will be responsible for information contained at any location within the Documents which pertains to their work. Deficiencies resulting from failure to do so will be removed and corrected at Contractors expense.

All dimensions and conditions shall be checked and verified, both in the Documents and on the job, by each Sub-contractor before they proceed with their work. Any errors, omissions, discrepancies or deficiencies shall be brought to the attention of the General Contractor prior to proceeding with the Work. The Contractor shall notify the Owner in writing for resolution.

Commencement of work by any Sub-contractor shall indicate a knowledge and acceptance of all conditions described in the Documents or existing on site which could affect their work.

All dimensions take precedent over scale. Where dimensions are not entirely clear the Contractor shall notify the Architect and request clarification.

DRAWINGS SHALL NOT BE SCALED.

Moisture Protection During Construction  
Should any special situations or climatic conditions occur during construction the Owner, Contractor and Sub-contractors shall so notice and implement any measures required to assure the protection of materials and assemblies.

The Contractor shall take all necessary measures to protect new or existing construction and materials from damage due to weather or any other adverse conditions.

Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further city approvals including review by the Planning Commission.

### Fire Department

Fire Extinguishers: There must be at least one 2A10BC fire extinguisher for each 3,000 square feet, travel distance not to exceed 75 feet with at least one extinguisher per floor per Title 19, California Code of Regulations. Show location of extinguishers on plans.

Fire Alarm System: This project is required to have installed an approved NFPA 72 Fire Alarm System throughout. The system is to monitor any flow through the required automatic fire sprinkler system, any fire sprinkler valve tamper and all heat and smoke detectors. The system will also include an exterior bell and interior horn/strobes, which are required to be wired to the alarm system and the flow switch for the fire sprinkler system. The FACP shall be protected with a smoke detector as per NFPA 72, Section 1-5.6 and a manual pull station. A wiring inspection is required to be conducted by the Fire District prior to covering walls and ceiling areas. All systems and components must be tested per manufactures specifications and NFPA 72. Battery backup shall meet or exceed requirements for amp-hour rating and must be tested as per manufactures specification and NFPA 72.

Occupancy Load Signs where required 2016 CFC Chapter 10.  
As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.

Exit Illumination: Signs shall be internally or externally illuminated by two electric lamps or shall be of an approved self-luminous type.  
Power Supply: Current supply to one of the lamps for exit signs shall be provided by the premises wiring system. Power to the other lamp shall be from storage of batteries or an on-site generator set. Include exit illumination with electrical plans and submit to the San Mateo County Building Department or City of Half Moon Bay for review and approval.

Exit Door Hardware: Exit door(s) shall be operable from the inside without the use of a key, special knowledge or effort. Exception: Main exit doors may be equipped with a keyed-locking device if there is a readily visible sign on or adjacent to the door stating "THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED". The letters in the sign shall not be less than 1-inch in height.

Exit Doors: Exit doors shall be of the pivoted type or side hinged swinging type. Exit doors shall swing in the direction of exit when serving an occupant load of 50 or more. Additional Doors: When additional doors are provided for egress purposes, they shall conform to all the provisions of CBC chapter 10.

Occupancy Load Signs where required 2016 CFC Chapter 10.  
Exit Illumination: Signs shall be internally or externally illuminated by two electric lamps or shall be of an approved self-luminous type.  
Power Supply: Current supply to one of the lamps for exit signs shall be provided by the premises wiring system. Power to the other lamp shall be from storage of batteries or an on-site generator set. Include exit illumination with electrical plans and submit to the San Mateo County Building Department or City of Half Moon Bay for review and approval.

Provide complete General Information Sign, placed at the riser on plans (NFPA 13 section 25.6.2).

Unobstructed fire sprinkler coverage: shall extend to all areas in the occupancy. Any areas creating compartmentalization due to new walls shall have additional sprinkler heads installed to provide unobstructed coverage. Any heat producing appliances that are hooked up to an electrical power source, natural or propane gas, and are operational shall not have sprinkler heads located within their respective heat zones.

The proposed project must be equipped with an approved NFPA 13 fire sprinkler system throughout. Your existing fire sprinkler may not meet the minimum requirements for an F occupancy as identified in the 2019 CBC for a brewery.

### Fire Department - Cont.

Address numbers and directional signs may be required at the entrance to the driveway/access road, road forks, and intersections. When located on the street the numbers shall be visible from each direction of remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent.

Address Numbers: Building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address numbers shall be of 6-inch height with a minimum 1/2-inch stroke and of a color, which is contrasting with the background. Such letter/numerals shall be illuminated and facing the direction of access.  
Distance from Road Address No. Size  
0-50 feet 6-inch  
50-100 feet 8-inch  
100-150 feet 10-inch  
+150 feet 12-inch with a corresponding increase in stroke width.

### Applicable Codes

- 2019 California Building Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code
- 2016 California Fire Code
- 2016 California Electrical Code
- 2016 California Energy Code
- 2019 California Green Building Standards

### Project Program

Conversion of an existing storage space into a start up brewery and tasting room.

### Project Index

**Owner**  
Robert Carpenter  
Voice: (650) 346-7733  
Email: robcarpenter@me.com

**Architect**  
Stuart Grunow  
124 Coronado St #822  
El Granada, CA 94018  
Voice: (415) 595-0306  
Email: sg@s2garch.com

### Construction Hours

No person shall erect (including excavation and grading), demolish, alter, or repair any building or structure other than between the following hours except in the case of urgent necessity in the interest of public health and safety, and then only with prior written approval from the Building Official, which approval shall be granted for a period not to exceed three days. Holidays are the first day of January, the third Monday of January, the third Monday of February, the last Monday of May, the fourth day of July, the first Monday of September, the second Monday of October, the eleventh day of November, the fourth Thursday in November and the twenty-fifth day of December. If the first day of January, the fourth day of July, the eleventh day of November, or the twenty-fifth day of December falls upon a Sunday, the following Monday is a holiday. Noise levels produced by the proposed construction activity shall not exceed the 80 dbas level at any moment. Construction activities shall be limited to the hours from 10:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 5:00 p.m. on Saturday. Construction operations shall be prohibited on Sunday and national holiday.

### Sheet Index

Architect	Sheet Index, Directory, Vicinity Map
A0.0	Sheet Index, Directory, Vicinity Map
A1.1	Existing Site Plan
A1.2	New Site Plan
A2.1	Existing and New Floor Plan
A4.1	Existing Elevations

### Vicinity Map



Use Permit

## Blue Ocean Brewing

315 Princeton Ave.  
Half Moon Bay, CA  
94019

12 Mar 2020	Planning Submittal
10 June 2020	Planning Re-submittal
01 July 2020	Revision

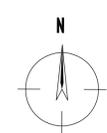
Sheet Index  
Directory, Vicinity Map

A0.0



1 Existing Site Plan

1/16" = 1'-0"



### Floor Plan Notes

Keynote legend below contains information referenced throughout Documents. References are organized by standard CSI divisions and are flagged at various locations in the Documents by means of the following symbol: 1.0 →

All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.

Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Sub-contractors shall review Documents and identify all such items that affect their work in any way.

Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of stud unless otherwise noted.

- Variations include:
- FDC: Face of Concrete
  - FOM: Face of Masonry
  - C: Centerline
  - FOF: Face of Finish

Refer exterior elevations for critical alignment of openings.

Refer interior elevations for critical alignment of openings, fixtures, finishes, cabinet dimensions, vertical controls, millwork locations.

Refer electrical plans for location of light fixtures, switches, etc. Contractor to coordinate framing to accommodate recessed fixtures and other items with critical locations.

Repeating items or assemblies may not be noted or dimensioned at all locations where repetition is obvious.

Refer structural drawings for location of posts, double studs, special floor and wall framing, special connections, shear nailing.

Provide 2x backing for all handrails, toilet accessories, cabinets and all other items requiring backing.

Provide water resistant gypsum board (green bd.) at all toilet, shower, tub areas (except ceiling).

### Keynotes

- 1 Fire Hydrant



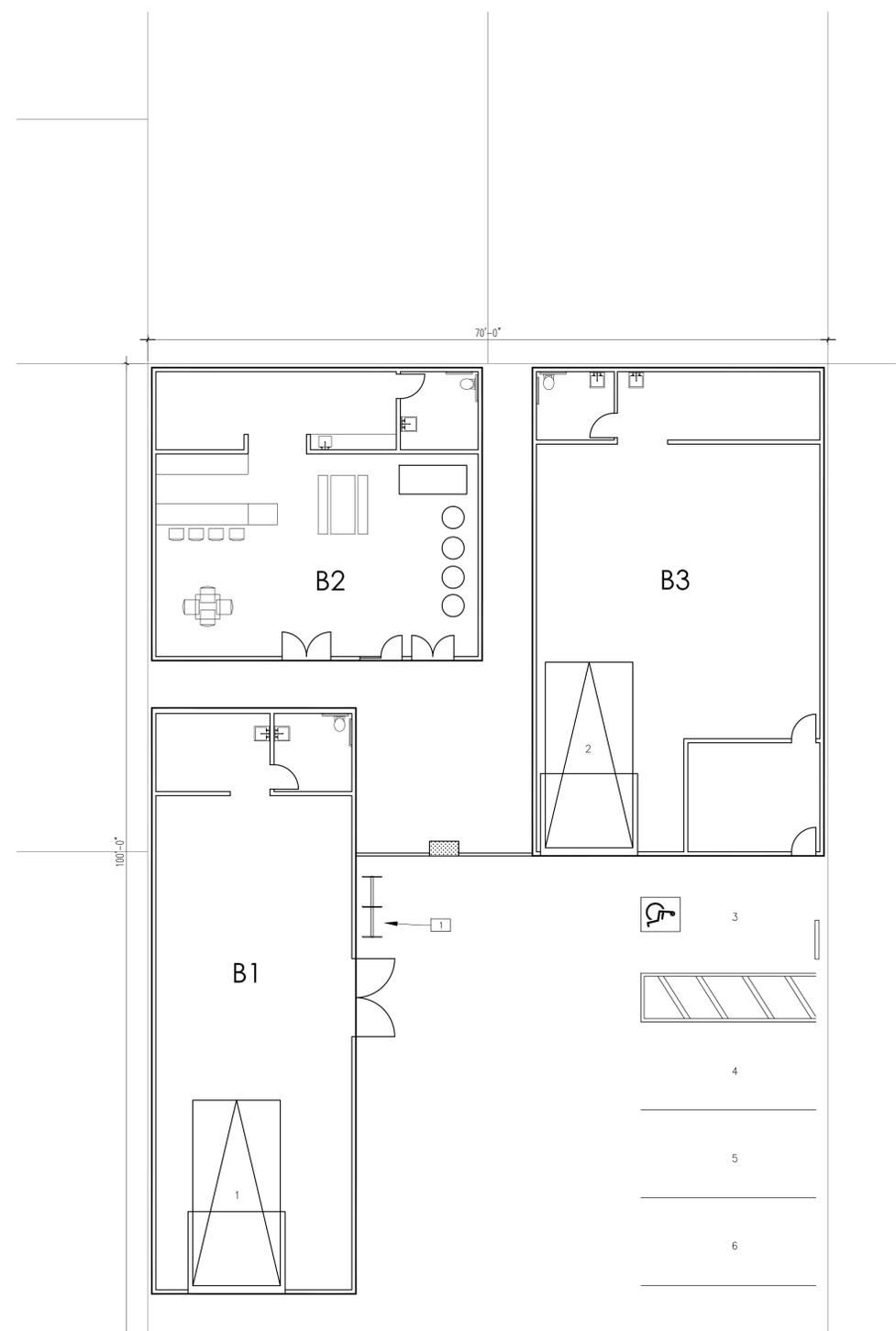
Use Permit  
**Blue Ocean Brewing**

315 Princeton Ave.  
Half Moon Bay, CA  
94019

12 Mar 2020 Planning Submittal  
10 June 2020 Planning Re-submittal

Existing Site Plan

A1.1



### Floor Plan Notes

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Provide 2x backing for all handrails, toilet accessories, cabinets and all other items requiring backing.

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### Keynotes

- 1 Large Bike Rack



Use Permit

## Blue Ocean Brewing

315 Princeton Ave.  
 Half Moon Bay, CA  
 94019

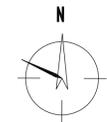
12 Mar 2020 Planning Submittal  
 10 June 2020 Planning Re-submittal

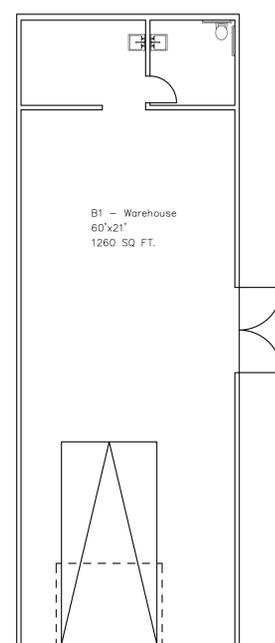
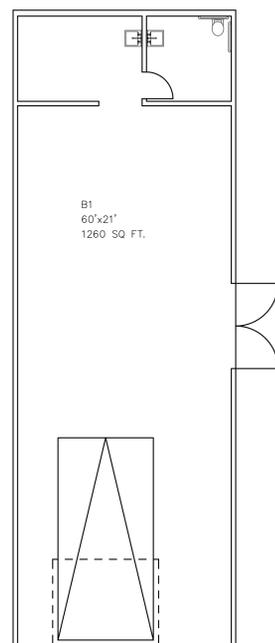
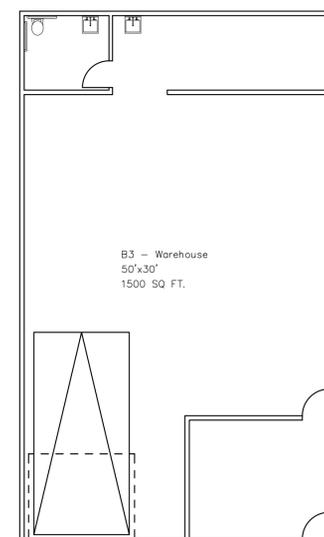
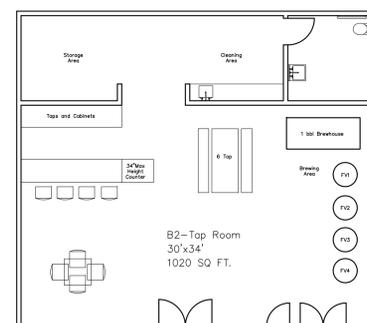
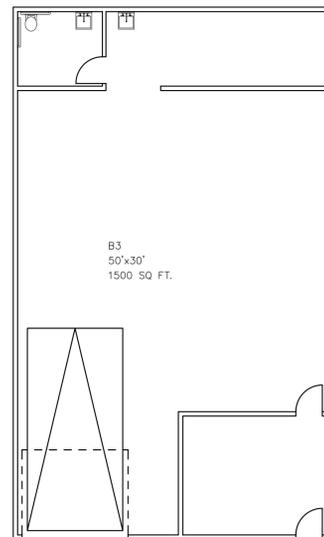
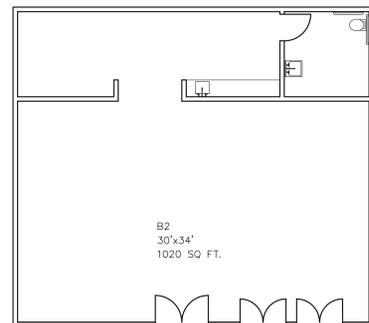
New Site Plan

A1.2

1 New Site Plan

1/16" = 1'-0"





## Floor Plan Notes

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Provide 2x backing for all handrails, toilet accessories, cabinets and all other items requiring backing.

Provide water resistant gypsum board (green bd.) at all toilet, shower, tub areas (except ceiling).

## Notes



Use Permit

## Blue Ocean Brewing

315 Princeton Ave.  
 Half Moon Bay, CA  
 94019

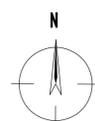
12 Mar 2020 Planning Submittal  
 10 June 2020 Planning Re-submittal

Existing Floor Plan  
 New Floor Plan

A2.1

1 Existing Floor Plan

1/4" = 1'-0"



2 New Floor Plan

1/4" = 1'-0"



Notes



① South Elevation

NTS



② East Elevation - B1

NTS



③ South Elevation - B3

NTS



④ West Elevation - B1

NTS



⑤ East Elevation - B3

NTS



⑥ West Elevation - B1, 2

NTS



⑦ North Elevation - B2, 3

NTS



⑧ South Elevation

NTS



⑨ South Elevation w/ Signage

NTS

Use Permit

**Blue Ocean Brewing**

315 Princeton Ave.  
 Half Moon Bay, CA  
 94019

12 Mar 2020 Planning Submittal  
 10 June 2020 Planning Re-submittal

Existing Elevations



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT D**

Blue Ocean Brewing  
315 Princeton Ave.  
Half Moon Bay, CA 94019

July 1, 2020

County of San Mateo  
Planning and Building Department  
455 County Center, Second Floor  
Redwood City, CA 94063

## **Proposal for Brewery at 315 Princeton Ave, Half Moon Bay, CA (Princeton)**

### Statement of Intended Use

San Mateo County Planning and Building Department,

Blue Ocean Brewing is a start-up brewery founded by four long-time coastsiders. Blue Ocean Brewing was founded with the goal of becoming a gathering place for the residents where a sense of shared community can be nurtured. We will support the local community through fund raisers and providing a place for groups to meet as well as serving as a traditional gathering place where neighbors meet each other.

Our intent is to open a Type 23 Brewery at 315 Princeton Ave. Half Moon Bay (Princeton). We will both brew and serve beer at this location. We are submitting this request for a permit to operate the brewery at this location.

#### **1. Brewing**

We have a small, electric-powered brewing system – A 1 barrel brewhouse (31 gallons) with capacity for 4 barrels of fermenting beer at any given time.

We will brew one to two times per week during non-retail hours. Brewing involves one or two people for approximately 8 hours. At the completion of the brewing day the wort (pre-beer) will be housed in one of the fermenters for 1-4 weeks. When the beer is ready, we will transfer to kegs and store in a cold storage location onsite or remotely if we are out of capacity.

The location has sufficient storage for all other production items and materials inside the building. We will not be storing anything exterior to the building.

We have already filed for our Brewery license with the TTB and will file shortly for our Type 23 Brewery licensor's with the California ABC. We expect those licenses to be granted within 90 days.

Brewing days involve one or two people for approximately 8 hours.

#### **2. Brewery Public Operations**

The public area will initially be open the following hours;

Friday	4-10 PM
Saturday	12-10 PM
Sunday	12- 8 PM

Times may expand in the future as demand warrants but is unlikely to ever extend beyond 5 days per week (Wednesday to Sunday). We anticipate one or two employees during public times.

The public area will seat approximately 10-12 guests. Limited dry packaged food will be available onsite (snacks) and guests will be allowed to order from local providers for delivery at our site.

Disabled parking, access and seating will be provided. The current restroom meets disabled access

requirements.

### **3. Parking**

Parking is provided on site (see plans).

We anticipate some of our customers will arrive on foot or by bike. We are installing a bike rack to encourage locals to use bikes to visit as well as visitors who may rent bikes to tour the harbor area. As the Princeton area develops, more and more customers will be parking and visiting several location in the area as it is walking friendly.

### **4. Commercial Deliveries**

We do not anticipate many commercial deliveries beyond the occasional UPS truck during normal business hours, Monday through Friday, 8 AM - 5 PM. Due to the size of our brewing system, the required materials for several days brewing fit into a car and we will be picking them up directly from the supplier.

We are happy to discuss more specifics of our plans anytime and will conduct a tour of the locations at your convenience.

Sincerely,

Rob Carpenter  
Tom McGuirk  
Edward Kalem  
Andrew Dorn



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT E**



Proposed Sign Design



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT F**



Front Elevation



Left Side Elevation



Right Side Elevation



Rear Elevation (as seen from Howard Avenue)