

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** January 13, 2021

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of a Coastal Development Permit, Non-conforming Use Permit, and Design Review Permit, pursuant to Sections 6328.4, 6137, and 6565.3, respectively, of the San Mateo County Zoning Regulations, to replace an existing fire damaged 1,842 sq. ft. two-story single-family residence with a new two-story 2,053 sq. ft. single-family residence that will have a non-conforming front yard setback of 13 feet and 8 inches where 20 feet is required , on a legal 6,092 sq. ft. parcel located at 322 California Avenue in the unincorporated Moss Beach area of San Mateo County. Five trees (two significant and three non-significant) are proposed for removal, and minor grading is proposed. The project is not appealable to the California Coastal Commission.

County File Number: PLN 2019-00485 (Clawson)

**PROPOSAL**

The applicant is requesting a Coastal Development Permit, Non-conforming Use Permit, and Design Review Permit to allow construction of a two-story 2,053 sq. ft. single-family residence to replace an existing 1,842 square foot two-story single-family residence that was significantly damaged by fire in 2015, on a 6,092 square foot parcel located at 322 California Avenue in Moss Beach. The Non-Conforming Use Permit is required to allow a 13-foot and 8-inch front yard setback where 20 feet is required. The project also involves the removal of five trees (two significant and three non-significant) to accommodate the proposed project.

**RECOMMENDATION**

That the Planning Commission approve the Coastal Development Permit, Non-conforming Use Permit, and Design Review Permit, PLN 2019-00485, by making the required findings and adopting the conditions of approval included in Attachment A.

## **Summary**

The project site is a relatively flat developed lot located along California Avenue in the unincorporated Moss Beach area of San Mateo County, within an area of developed parcels with single-family homes of various architectural styles. The property is located on California Avenue, adjacent to single-family residences to the east, north, and south.

The project complies with the Visual Quality Policies of the County's General Plan, the Visual Resources Component of the County's Local Coastal Program, and the Design Review District Standards of the County's Zoning Regulations. The Coastside Design Review Committee (CDRC) considered this project at their regularly scheduled CDRC meeting on November 12, 2020, determined that the project is in compliance with applicable Design Review standards, and recommended approval. The scale of the house is proportional and complimentary to other homes in the neighborhood. The project is architecturally compatible with homes in the immediate area and uses colors, materials, and landscaping that complement its surroundings.

The two significant trees proposed for removal include a 25-inch dbh (diameter at breast height) blackwood acacia located in the front yard of the property and a 15-inch dbh willow in the rear yard of the property. The blackwood acacia is in poor to fair health and the willow is in fair condition but, located in an inappropriate location for its present and future size. The County Arborist concurs with the proposed removal and replacement plan.

The project also complies with the Urban Land Use Policy of the County's General Plan and Locating and Planning New Development Component of the County's Local Coastal Program. The project proposes to replace an existing non-conforming residence in an existing, developed urban area with access to services and utilities. Aside from the Non-conforming Use Permit to allow an expanded new front porch with a 13-foot and 8-inch front yard setback where 20 feet is required, the project meets the County's zoning regulations, including the development standards of the S-17 Zoning District.

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**SUBJECT:** Consideration of a Coastal Development Permit, Non-conforming Use Permit, and Design Review Permit, pursuant to Sections 6328.4, 6137, and 6565.3, respectively, of the San Mateo County Zoning Regulations, to replace an existing fire damaged non-conforming 1,842 square foot two-story single-family residence with a new two-story 2,053 square foot single-family residence that will have a non-conforming front yard setback of 13 feet and 8 inches where 20 feet is required, on a legal 6,092 square foot parcel located at 322 California Avenue in the unincorporated Moss Beach area of San Mateo County. Five trees (two significant and three non-significant) are proposed for removal and minor grading is proposed. The project is not appealable to the California Coastal Commission.

County File Number: PLN 2019-00485 (Clawson)

**PROPOSAL**

The applicant is requesting a Coastal Development Permit, Non-conforming Use Permit, and Design Review Permit to allow construction of a two-story 2,053 square foot single-family residence to replace an existing non-conforming 1,842 square foot two-story single-family residence that was significantly damaged by fire in 2015, on a 6,092 square foot parcel located at 322 California Avenue in Moss Beach. The rebuilt residence will be in the same location as the existing residence on the property. The Non-conforming Use Permit is required to replace the existing non-conforming residence. The existing residence has a front yard setback of 18 feet and 10 inches, and the proposed residence includes an expanded front porch that would result in a front yard setback of 13 feet and 8 inches, where 20 feet is required. The project also involves the removal of five trees (two significant and three non-significant) due to poor to fair health and inappropriate location for present and future sizing, including a 25-inch diameter at breast height (dbh) blackwood acacia, a 15-inch dbh willow, a 6-inch dbh apple, a 6-inch dbh trumpet vine, and a 6-inch dbh bottle brush; minimal grading is proposed. The existing detached 447 square-foot two-car garage located in the left rear yard is proposed to remain without modification, however vehicle access to the garage will be re-established.

## **RECOMMENDATION**

That the Planning Commission approve the Coastal Development Permit, Non-conforming Use Permit, and Design Review Permit, PLN 2019-00485, by making the required findings and adopting the conditions of approval included in Attachment A.

## **BACKGROUND**

Report Prepared By: Lawrence Truong, Project Planner; [lktruong@smcgov.org](mailto:lktruong@smcgov.org)

Applicant: Ruth Clawson

Owner: Steve and Ruth Clawson

Location: 322 California Avenue, Moss Beach

APN: 037-118-020

Size: 6,092 sq. ft.

Existing Zoning: R-1/S-17/DR/CD (Single-family residential/5,000 sq. ft. lot minimum/Design Review/Coastal Development)

General Plan/Local Coastal Program Designation: Medium Density Residential

Sphere-of-Influence: Half Moon Bay

Existing Land Use: Existing two-story fire damaged single-family residence with a detached two-car garage

Water Supply: Montara Water and Sanitary District

Sewage Disposal: Montara Water and Sanitary District

Flood Zone: Flood Zone X (areas of minimal flood hazard), FEMA Community Panel Number 06081C0119F, effective August 2, 2017.

Environmental Evaluation: Categorically exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15301, Class 1, for a residential addition of less than 10,000 sq. ft. of floor area on a site in an urbanized area where all necessary public services and facilities are available.

Setting: The subject parcel is approximately 6,092 sq. ft. in size and is located off California Avenue, west of Cabrillo Highway/Highway 1, in the Moss Beach area. There is an existing 1,842 square-foot two-story single-family residence and a 447 square foot

detached two-car garage on the property. The surrounding area consists of existing one- and two-story single-family residences.

Chronology:

<u>Date</u>	<u>Action</u>
November 27, 2019	- Received subject application for Coastsides Design Review, Coastal Development Permit, and Non-conforming Use Permit, PLN 2019-00485.
October 2, 2020	Project deemed complete.
November 12, 2020	The Coastsides Design Review Committee (CDRC) considered the project and recommended approval based on conformance with Design Review standards.
January 13, 2021	Planning Commission public hearing.

## **DISCUSSION**

### **A. KEY ISSUES**

#### **1. Conformance with the General Plan**

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with applicable General Plan policies, including the following:

##### **a. Visual Quality**

Policy 4.15 (*Appearance of New Development*), Policy 4.16 (*Supplemental Design Guidelines for Communities*), and Policy 4.36 (*Urban Area Design Concept*) seek to regulate development to promote and enhance good design, site relationships and other aesthetic considerations, encourage the preparation of supplemental site and architectural design guidelines for communities that include, but are not limited to, criteria that reflect local conditions, characteristics and design objectives and are flexible enough to allow individual creativity, maintain and, where possible, improve upon the appearance and visual character of development in urban areas, and ensure that new development in urban areas is designed and constructed to contribute to the orderly and harmonious development of the locality. The project involves rebuilding a fire damaged single-family residence on a property in Moss Beach, one of the County's Design Review districts. The Coastsides Design Review Committee

reviewed the project and found the project to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast at their regular meeting on November 12, 2020. The project's compliance with applicable Design Review standards is discussed further in Section A.4 below.

b. Urban Land Use

Policy 8.15 (*Land Use Compatibility*) seeks to protect and enhance the character of existing single-family areas. The new building has character and details that are reminiscent of the design of the existing home including beveled horizontal wood siding, reclaimed natural stone veneer, and gaf elk prestige (shingle) roofing. Added details such as trim boards, columns, and stone base recreate the historic style of the existing home. Surrounding development includes one- and two-story residences with a mix of stucco and wood siding, hip and gable-style roofs, and two-car garages. Thus, the proposed addition is compatible with residential development in the surrounding area.

2. Conformance with the Local Coastal Program

A Coastal Development Permit (CDP) is required pursuant to Section 6328.4 of the County Zoning Regulations for development in the Coastal Development (CD) District. Staff has determined that the project is in compliance with applicable Local Coastal Program (LCP) Policies, elaborated as follows:

a. Locating and Planning New Development

Policy 1.19 (*Ensure Adequate Public Services and Infrastructure for New Development in Urban Areas*) requires that no permit for development in the urban area shall be approved unless it can be demonstrated that it will be served with adequate water supplies and wastewater treatment facilities. The Montara Water and Sanitary District has confirmed adequate water supply and treatment capacity to serve the project.

b. Visual Resources

Policy 8.9(b) (*Trees*) requires protection of significant trees per the Significant Tree Ordinance. Two (2) significant trees are proposed for removal due to poor to fair health. One of the two trees, a 25-inch dbh blackwood acacia, is in poor condition. The second tree proposed for removal is a 15-inch dbh willow in fair condition, but the tree is located

on the property line. The County Arborist concurs with the proposed removal and replacement plan.

Policy 8.12(a)(1) (*General Regulations*) applies the Design Review Zoning District to urbanized areas of the Coastal Zone, which includes Moss Beach. The project is, therefore, subject to Design Review criteria established by Section 6565.20 of the Zoning Regulations. The Coastside Design Review Committee (CDRC) considered this project at the regularly scheduled CDRC meeting on November 12, 2020, and determined that the project is in compliance with applicable Design Review standards, and recommended approval.

Policy 8.13 (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed residence complies with these guidelines as follows:

- (1) On-site grading is not extensive and only limited to standard construction activity.
- (2) The proposed materials for the house, such as wood, have a natural appearance.
- (3) The proposed house design has character and details that are reminiscent of the design of the existing home, which the CDRC has determined is compatible with the character of the surrounding area.
- (4) The proposed house is designed to be compatible with other houses in the area since the proposed lot coverage of 26 percent (1,604 sq. ft.) is within the maximum allowed of 35 percent (2,132 sq. ft.). Additionally, the total floor area proposed is 2,500 sq. ft., lower than the maximum allowed of 3,229 square feet.

### 3. Conformance with the Zoning Regulations

The project conforms with the following applicable Zoning Regulations:

#### a. Development Standards

The project parcel is zoned R-1/S-17 (Single-family residential/5,000 sq. ft. lot minimum). The existing two-story single-family residence was built with a non-conforming front yard setback of 18 feet and 10 inches where 20 feet is required. The proposed project will replace the existing two-story residence and front porch with a new two-story residence and expanded front porch. The following table provides an

analysis of the project's conformance with the zoning development standards for the project:

S-17 Development Standards			
	Required	Existing	Proposed
Minimum Lot Width	50 ft.	60 ft.	No change
Minimum Building Area	5,000 sq. ft.	6,092 ft.	No change
Minimum Front Yard Setback	20 ft.	18 ft., 10 in.	13 ft., 8 in.*
Minimum Side Yard Setbacks	Combined total of 15 ft. with minimum of 5 ft. on any side		
Left Side	5 ft.	28 ft., 3 in.	No change
Right Side	5 ft.	5 ft., 4 in.	No change
Minimum Rear Yard Setback	20 ft.	47 ft., 5 in.	45 ft., 6 in.
Maximum Lot Coverage	35%	23%	26%
Maximum Building Floor Area	53%	37%	41%
Maximum Building Height	28 ft.	22 ft., 6 in.	25 ft.
Covered Parking	2 spaces	2 spaces	No change
*Non-conforming Use Permit required.			

Pursuant to Section 6137 of the Zoning Regulations, a Use Permit is required to enlarge a non-conforming structure where the enlargements will not conform with the current Zoning Regulations as evidenced above and described below:

*Non-conforming Setbacks*

The existing non-conforming residence maintains an 18-foot and 10-inch front yard setback and will be replaced with a new residence that proposes a 13-foot and 8-inch front yard setback to accommodate an expanded front porch, where 20 feet is required per Section 6300.2.3 of the Zoning Regulations.

b. Use Permit Findings

The following finding, as required by Section 6137, and in reference, Section 6503, must be made in order to grant approval of the Use Permit:

- (1) **That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or**

**injurious to property or improvements in said neighborhood.**

Surrounding development in the neighborhood, a coastal area, consists primarily of newer one- and two-story single-family residences. The proposed project will continue to utilize the property for single-family residential purpose and proposes a design and finish materials that are compatible with surrounding single-family residential development. Additionally, the proposed residence would be in the same location on the property. The project involves rebuilding a fire damaged two-story single-family residence on a property in Moss Beach, one of the County's Design Review districts. The Coastside Design Review Committee reviewed the project and found the project to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast at their regular meeting on November 12, 2020.

The project involves the removal of five trees (two significant and three non-significant) to accommodate the proposed project. An arborist report prepared by James Goodrum Consulting Arborist and reviewed by the County Arborist supports the proposed removal of the five trees due to poor to fair health.

Therefore, staff finds that the project would not result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the Moss Beach area.

4. Conformance with Design Review District Standards

The Coastside Design Review Committee (CDRC) considered the project at their regularly scheduled CDRC meeting on November 12, 2020. At the meeting, the CDRC adopted the findings to recommend project approval (Attachment D), pursuant to the Design Review Standards for One-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. *Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT:* The proposed design is consistent with the prior design of the fire damaged home, and maintains the placement of the new home in the same location. As such, there is no substantial change to views, relationship to open space or required grading.
- b. *Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape, and Scale:* The proposed design of the home to replace the

fire damaged home has character and details that are reminiscent of the design of the existing home. It speaks to the history that is lost by utilizing the same footprint, proportions, roof massing and details from the original home.

- c. *Section 6565.20 (D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors, b. Quality:* The proposal includes added details such as trim boards, columns, and stone base recreate the historic style of the existing home, and add to the feel of quality.

**B. ENVIRONMENTAL REVIEW**

This project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15301, Class 1, for the residential addition of less than 10,000 sq. ft. of floor area on a site in an urbanized area, zoned for residential use, where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive.

**C. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL**

In correspondence received on November 2, 2020, the Midcoast Community Council indicated that they have no comments.

**D. REVIEWING AGENCIES**

County Building Inspection Section  
County Drainage Section  
County Department of Public Works  
County Parks Department  
Coastside Fire Protection District  
Midcoast Community Council  
California Coastal Commission  
Montara Water and Sanitary District

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans
- D. Coastside Design Review Committee Recommendation Letter (dated November 23, 2020)
- E. James Goodrum Consultant Arborist Report (dated April 21, 2020)

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**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT A**

County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2019-00485      Hearing Date: January 13, 2021

Prepared By: Lawrence Truong,      For Adoption By: Planning Commission  
Project Planner

**RECOMMENDED FINDINGS**

For the Environmental Review, Find:

1. That the project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15301, Class 1, for the residential addition of less than 10,000 sq. ft. of floor area on a site in an urbanized area, zoned for residential use, where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive.

For the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms to the plans, policies, requirements and standards of the San Mateo County Local Coastal Program. Specifically, the project complies with policies regarding the availability of utilities, protection of sensitive resources, and design review standards.
3. That the project is not subject to the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code) since the project is not located between the nearest public road and the sea, or the shoreline of Pescadero Marsh.
4. That the project conforms to the specific findings required by policies of the San Mateo County Local Coastal Program with regard to the Locating and Planning New Development and Visual Resources Components since Montara Water and Sanitary District confirmed there would be adequate water supply and treatment capacity to serve the project and the CDRC considered this project at the regularly scheduled CDRC meeting on November 12, 2020, and determined that the project is in compliance with applicable Design Review standards, and recommended approval.

For the Design Review, Find:

5. That the project, as proposed and conditioned, has been reviewed and found to be in compliance with the Design Review standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:
  - a. *Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT: The proposed design is consistent with the prior design of the fire damaged home, and maintains the placement of the new home in the same location. As such, there is no substantial change to views, relationship to open space or required grading.*
  - b. *Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape, and Scale: The proposed design of the home to replace the fire damaged home has character and details that are reminiscent of the design of the existing home. It speaks to the history that is lost by utilizing the same footprint, proportions, roof massing and details from the original home.*
  - c. *Section 6565.20 (D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors, b. Quality: The proposal includes added details such as trim boards, columns, and stone base recreate the historic style of the existing home, and add to the feel of quality.*

For Non-Conforming Use Permit, Find:

6. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood. The proposed residence will be in the same location on the property and will be compatible in design and finish materials to surrounding single-family residential development as determined by the Coastsides Design Review Committee on November 12, 2020.

**RECOMMENDED CONDITIONS OF APPROVAL**

Current Planning Section

1. The project shall be constructed in compliance with the plans approved by the Planning Commission on January 13, 2021 and as reviewed by the Coastsides Design Review Committee on November 12, 2020. Any changes or revisions to the approved plans shall be submitted to the Community Development Director for review and approval prior to implementation. Minor adjustments to the project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively,

the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.

2. This Coastal Development Permit, Non-conforming Use Permit, and Design Review approval is valid for five (5) years from the date of final approval in which time a valid building permit shall be issued, and construction commenced. A one-year extension of these permits shall require submittal of an application for permit extension and payment of applicable fees sixty (60) days prior to expiration.
3. The applicant shall indicate the following on the plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
  - a. Add a small shed roof over the side door on the left (north) elevation, with architectural brackets to match the roof over the exterior sliding doors at the rear facade.
  - b. Provide one (1) light at the side door on the left (north) elevation and no more than two (2) lights at the rear sliding doors. Use roof soffit downlights or suspended lights under roof eaves at the rear sliding doors and side door on left (north) side elevation due to limited wall space for sconces. Dark sky compliant fixtures as required by zoning.
4. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
  - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
  - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - c. Performing clearing and earth-moving activities only during dry weather.
  - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
  - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.

- g. Use of sediment controls or filtration to remove sediment when dewatering the site and obtain all necessary permits. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - h. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
  - i. Limiting construction access routes and stabilization of designated access points.
  - j. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - k. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
  - l. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
  - m. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
5. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section.
6. To reduce the impact of any construction-related activities on neighboring properties, comply with the following:
- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along Beach Street and California Avenue right-of-ways. All construction vehicles shall be parked on-site outside public right-

of-ways or in public locations which do not impede safe access on Beach Street and California Avenue. There shall be no storage of construction vehicles in the public right-of-way.

7. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
8. All new power and telephone utility lines shall be placed underground.
9. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
10. The exterior colors and materials as conditioned by the CDRC are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
11. As part of the building permit submittal, the applicant shall include a Tree Protection Plan. The Tree Protection Plan shall incorporate recommendations from the project arborist, including for tree protection, and that at a minimum conform with the tree protection standards set forth in Sections 12,020.4 and 12,020.5 of the County's Significant Tree Ordinance.
12. A Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a building permit to ensure tree protection measures are installed adequately and in accordance to the approved arborist recommendations prior to the start of ground disturbing activities.
13. Installation of the approved landscape plan is required prior to final inspection.
14. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
  - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of

the finished floors relative to the existing natural or to the grade of the site (finished grade).

- c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
- d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
- e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
- f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.

#### Building Inspection Section

15. A valid building permit shall be issued prior to the commencement of any work.

#### Drainage Section

16. The following shall be required at the time of building permit submittal:
- a. Sheet A1 and any landscaping plans will need to agree with the Civil Sheets with respect to patio/walkway/driveway material.
  - b. Final Drainage Report stamped and signed by a registered Civil Engineer.
  - c. Final Grading and Drainage Plan stamped and signed by a registered Civil Engineer.
  - d. Updated C.3 and C.6 Checklist (if changes to the impervious areas have been made during the design phase).

## Department of Public Works

17. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 percent) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
18. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
19. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

## Coastside Fire Protection District

20. Add note to plans for building permit: Smoke Detectors which are hard-wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire Protection District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard-wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. The date of installation must be added to the exterior of the smoke alarm and will be checked at final inspection.
21. Add note to plans for building permit: Smoke alarm/detectors are to be hard-wired, interconnected, or with battery backup. Smoke alarms to be installed per manufacturer instructions and NFPA 72.
22. Add note to plans for building permit: Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor (CFC 1030).

23. Identify on plans for building permit rescue windows in each bedroom and verify that they meet all requirements.
24. Add note to plans for building permit: As per Coastside Fire Protection District Standard CI-103, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated, contrasting to the background so as to be seen from the public way fronting the building, and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway.
25. Add note to plans for building permit: As per Coastside Fire Protection District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
26. Vegetation Management (LRA) – Add note to plans for building permit: As per Coastside Fire Protection District Ordinance 2019-03 and the 2019 California Fire Code (CFC) 304.1.2, a fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
27. Add note to plans for building permit: Fire Hydrant: As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B, the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.

28. Add note to plans for building permit: Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire Protection District Ordinance Number 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire Protection District for review.
29. Installation of the underground sprinkler pipe shall be flushed and visually inspected by the Fire District prior to hook-up to the riser. Any soldered fittings must be pressure tested with a trench open. Please call Coastside Fire Protection District to schedule an inspection. Fees shall be paid prior to plan review.
30. Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
31. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
32. Add note to plans for building permit: Solar Photovoltaic Systems: These systems shall meet the requirements of the 2019 CFC Section 605.11.

Montara Water and Sanitary District (MWSD)

33. Submit an Existing Service Application and pay for the initial application fees based on the remodeling type determined by San Mateo County. The applicant shall follow the procedures specified in the Existing Service Application Packet.
34. Fixture units above 25 will be charged as new fixture additions.
35. Cut and cap the sewer near the property line, mark location with a pressure treated 4 by 4 post. Video CCTV lower lateral and submit to MWSD for review. Any defects or pipe that is not to current MWSD code shall be replaced. Current code construction details and additional backflow protection requirements shall apply.

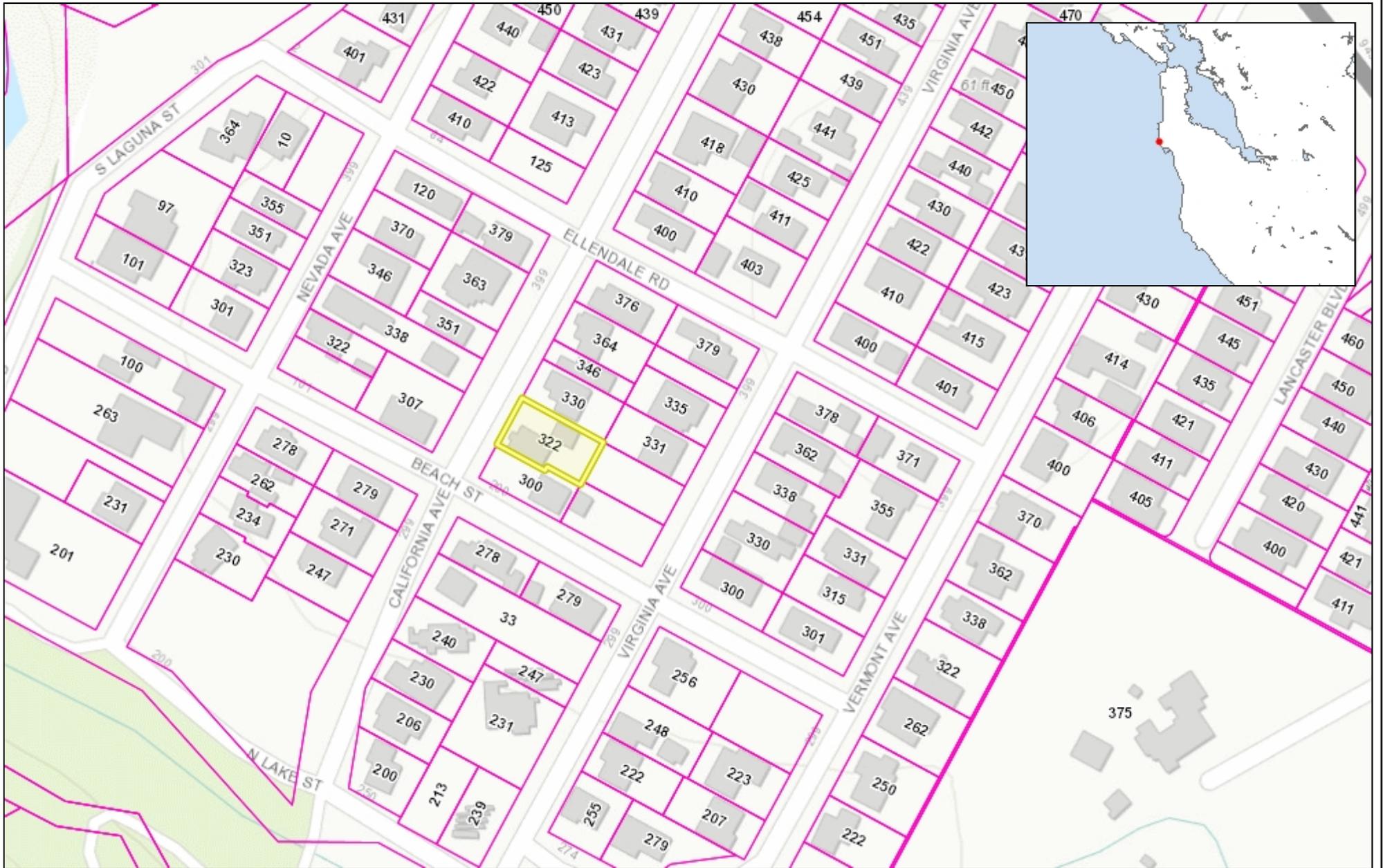
36. A water meter upgrade may be required. The condition of the existing water meter(s), backflow preventor and water lateral connection shall be inspected by MWSD to determine if they are in good working condition. MWSD may require repair or replacement of the existing water meter(s), backflow preventor and water lateral connection.
37. If connection to MWSD's fire protection system is required: A Certified Fire Protection Contractor must certify adequate fire flow calculations. A connection fee for the fire protection system is required. The connection charge must be paid prior to issuance of a Private Fire Protection permit.
38. Applicants must first apply directly to MWSD for permits and not their contractor.

LKT:cmc – LKTEE0466\_WCU.DOCX



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT B**



0.07 0 0.04 0.07 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:2,257



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT C**





COASTSIDE FIRE PROTECTION DISTRICT

10001 Street, Half Moon Bay, CA 94019 | Website: HYPERLINK
http://www.coastsidefire.org | www.coastsidefire.org
(650) 728-5213 | Fax: (650) 728-0132 | Email: HYPERLINK
mailto:coastfireadmin@fire.co.gov | castfire@fire.co.gov

Aug 11, 2020

Clawson Ruth
810 Cavalier Court
Fairfield, Ca. 94534-0000

SUBJECT: P192020-00485 -322 California Ave.
SFD

Your building plans have been reviewed with the following comments & conditions completed prior to a building permit issued by the Building Department. It is your responsibility to make contact with the fire department if you do not understand any of the following project conditions.

- 1. ADD Note to plans: Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery back-up. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.
2. ADD Note to plans: Smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72.
3. ADD Note to plans: Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1630).
4. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
5. ADD Note to plans: As per Coastside Fire District Standard CI-013, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green

reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway.

- 6. ADD Note to plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
7. ADD Note to plans: As per Coastside Fire District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
8. Vegetation Management (LRA) - Add note to plans: The Coastside Fire District Ordinance 2019-03, the 2019 California Fire Code 304.1.2
A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.
Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity.
Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
9. ADD Note to plans: Fire Hydrant: As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Ctow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
10. ADD Note to plans: Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bedrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of

plans, the County or City will forward a complete set to the Coastside Fire District for review.

- 11. Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with a trench open. Please call Coastside Fire District to schedule an inspection. Fees shall be paid prior to plan review.
12. Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
13. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
14. ADD Note to plans: Solar Photovoltaic Systems: These systems shall meet the requirements of the 2019 CFC Section 605.11

All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.

Our review is not construed as encompassing the structural integrity of the facility nor abrogating more restrictive requirements by other agencies having responsibility. Final acceptance is subject to field inspection and necessary tests.

NOTE: An additional re-inspection fee may be charged for missed appointments, failure to comply or not being ready.

For additional information or to schedule an inspection you may contact the Deputy Fire Marshal's cell phones Patrick 650 245-1722 or John 925-519-1517.

John Riddell
Deputy Fire Marshal

Cc: File



MONTARA WATER & SANITARY DISTRICT

Serving the Communities of Montara and Moss Beach
P.O. Box 370131 Tel: (650) 728-3545
8888 Cabrillo Highway Fax: (650) 728-8556
Montara, CA 94037-0131 E-mail: mwsd@coastside.net
Visit Our Web Site: http://www.mwsd.montara.com

August 1, 2020

Recommended Conditions of Approval for PLN2019-00485, APN 037118020, Owner Ruth Clawson, 322 California Street, Moss Beach:

Submit Existing Service Application and pay for the initial application fees based on the remodeling type determined by the SMC. Applicant shall follow the procedures specified in the Existing Service Application Packet.

Fixture Units above 25 will be charged as new fixture additions. Cut and cap the sewer near the property line, mark location with a pressure treated 4x4 post. Video CCTV lower lateral and submit to MWSD (sanitary district) for review. Any defects or pipe that is not to current District code shall be replaced. Current code construction details and additional backflow protection requirements shall apply.

Water meter upgrade may be required. The condition of the existing water meter(s), BFP and water lateral connection shall be inspected by MWSD to determine if they are in good working condition; MWSD may require repair or replacement of the existing water meter(s), BFP and water lateral connection.

If connection to the District's fire protection system is required: Certified Fire Protection Contractor must certify adequate fire flow calculations. Connection fee for fire protection system is required. Connection charge must be paid prior to issuance of Private Fire Protection permit.

Applicants must first apply directly to District for permits and not their contractor.

Clemens Heldmaier
MWSD

WATER

FIRE

CONDITIONS OF APPROVAL

Table with 2 columns: REVISIONS, BY. Row 1: P114, 8/16/20, RM

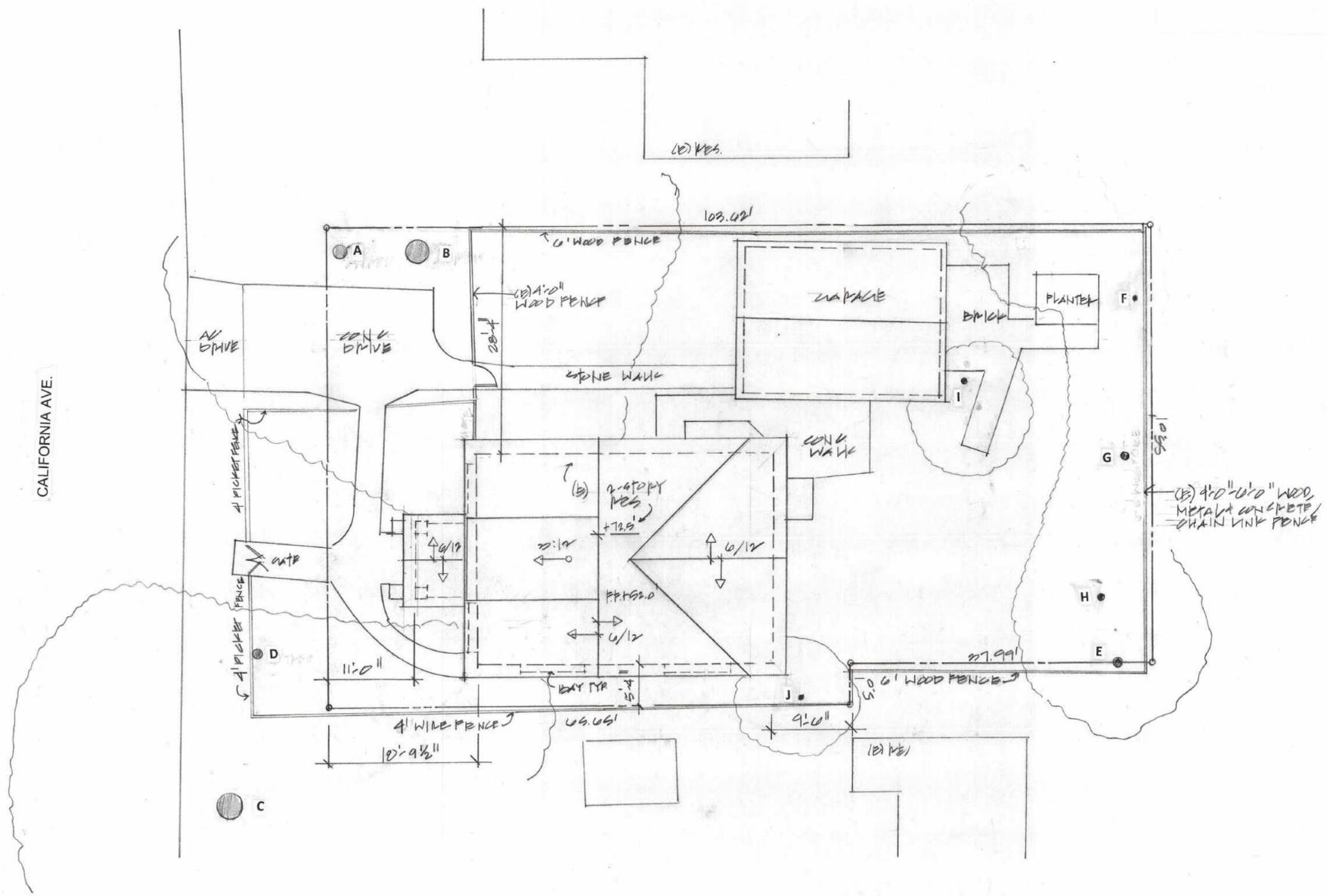
ROBERT MEDAN
ARCHITECT
1936 LOS ALTOS DRIVE
SAN MATEO, CA 94402
T 650.577.8477
F 650.577.8313
robertmedan@earthlink.net

CLAWSON RESIDENCE
NEW RESIDENCE
322 CALIFORNIA AVE.
MOSS BEACH, CALIFORNIA

Table with 2 columns: Date, Scale, Drawn, Job, Sheet. Date: 8.11.20, Job: 2019.02, Sheet: CA

REVISIONS	BY
PLN 19	BM
2/16/20	

TREES:	Tag #	botanical name	common name	DBH (inches)	quantity
EXISTING TREES TO KEEP	A*	Hesperocyparis macrocarpa	Monterey Cypress	23.5	1
	B*	Hesperocyparis macrocarpa	Monterey Cypress	39.5	1
	C*	Hesperocyparis macrocarpa	Monterey Cypress	43.5	1
(this is on county property but dripline is affected)	F	Prunus	Plum	6,6 multi	1
	G	Prunus	Plum	8,4,4 multi	1
EXISTING TREES FOR REMOVAL	D*	Acacia melanoxylon	Blackwood Acacia	25	1
	E*	Salix	Willow	15	1
	H	Malus domestica	Apple	6	1
	I	Callistemon	Bottle Brush	6,6 multi	1
	J	Brugmanisa	Tumpet Vine	6,4 multi	1

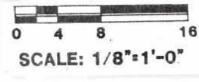


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robertmedan@earthlink.net

**CLAWSON RESIDENCE**  
NEW RESIDENCE  
322 CALIFORNIA AVE.  
MOSS BEACH, CALIFORNIA



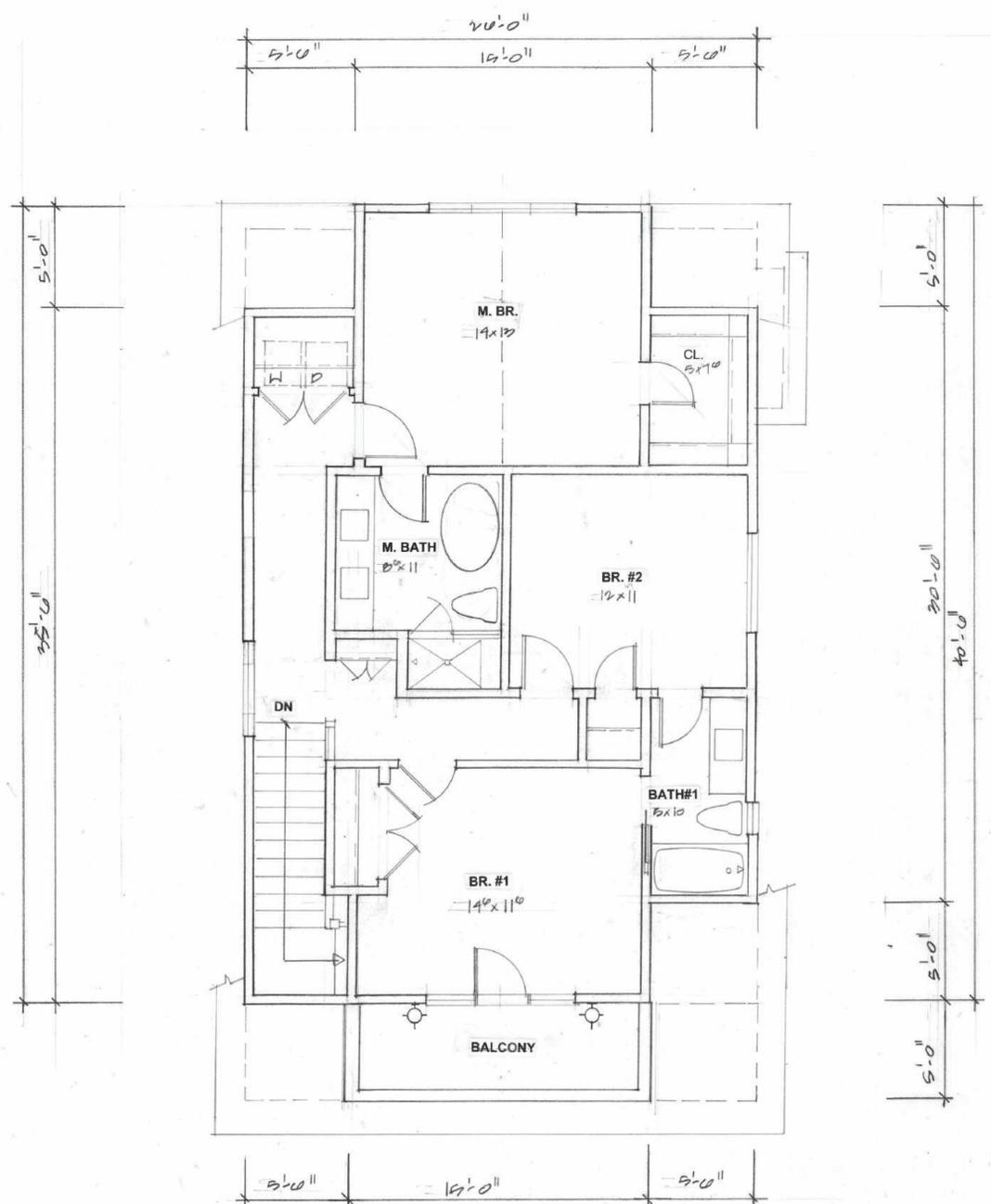
AS-BUILT SITE PLAN



Date 7.11.19  
Scale 1/8"=1'-0"  
Drawn BM  
Job 2019.02  
Sheet **A1.1**  
Of 1 Sheets

REVISIONS	BY

**ROBERT MEDAN**  
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 SAN MATEO, CA 94402  
 T 650.577.8477  
 F 650.577.8313  
 robertmedan@earthlink.net



PROPOSED SECOND FLOOR PLAN 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN 1/4"=1'-0"

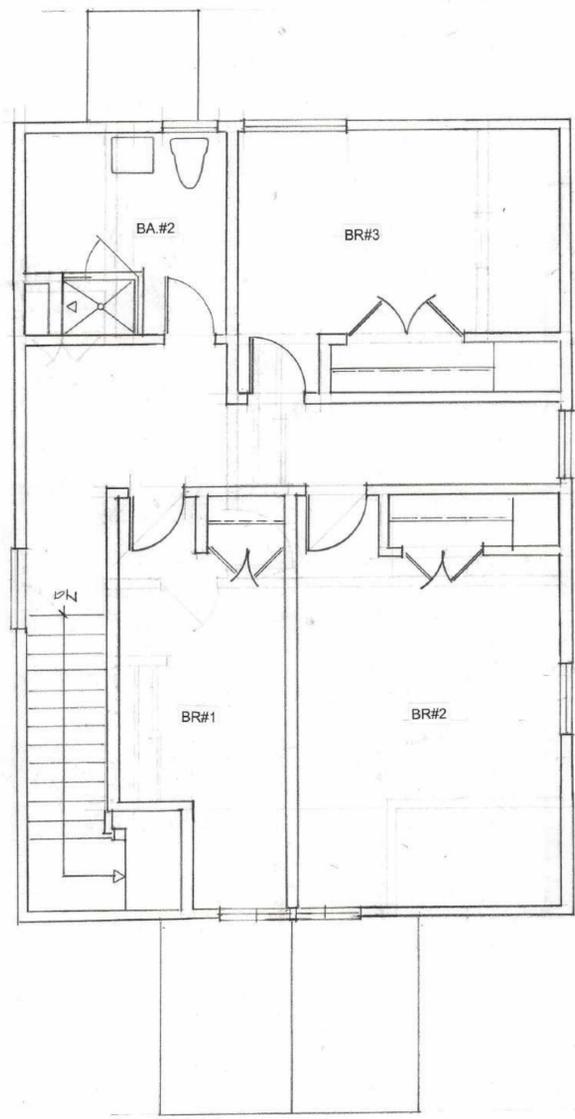
**CLAWSON RESIDENCE**  
 NEW RESIDENCE  
 322 CALIFORNIA AVE.  
 MOSS BEACH, CALIFORNIA

Date 7.11.19  
 Scale 1/4"=1'-0"  
 Drawn MM  
 Job 2019.02

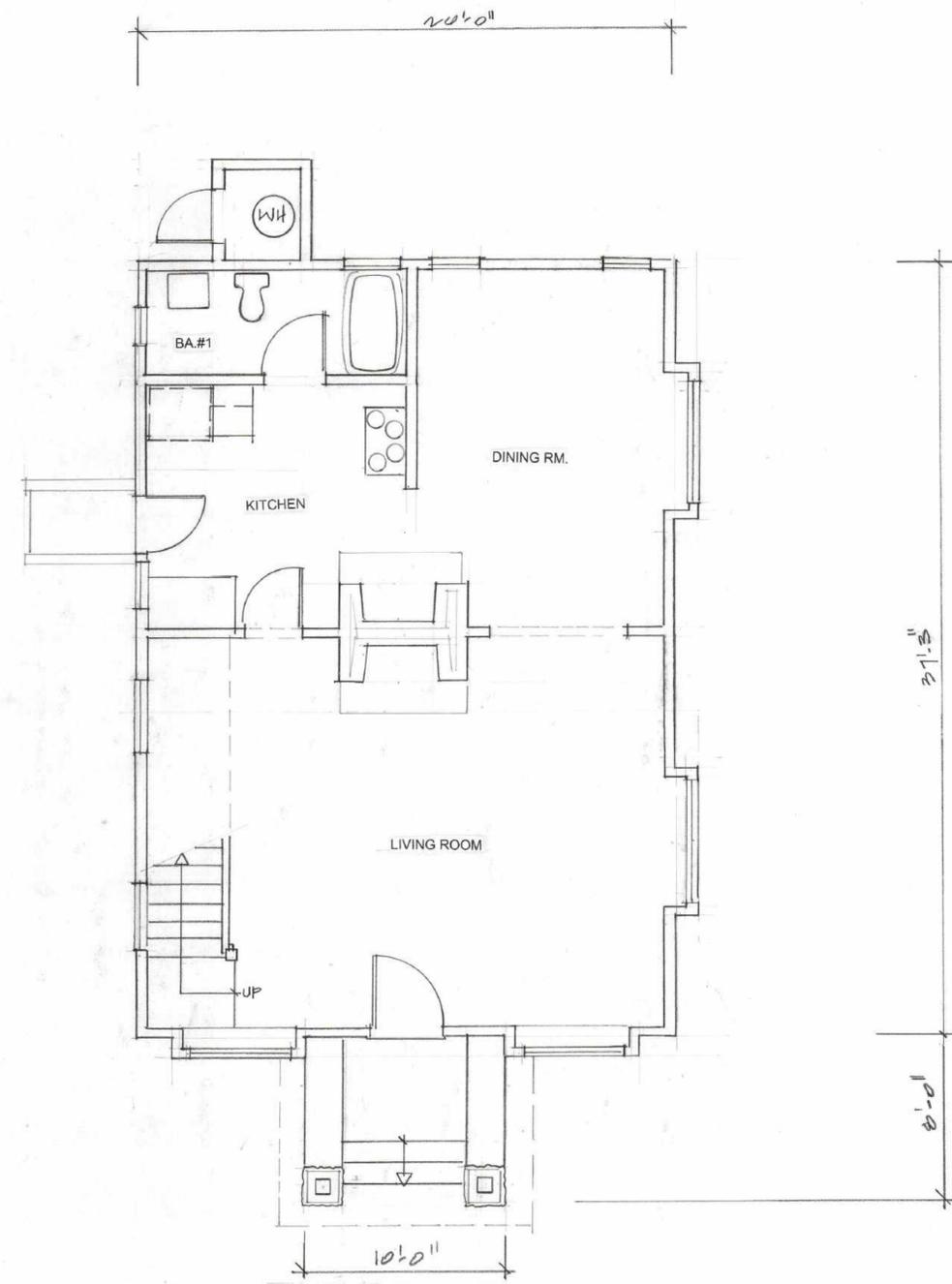
Sheet  
**A2**  
 Of Sheets

REVISIONS	BY
PLN 1	RM
2/10/20	

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

AS-BUILT FLOOR PLANS

**CLAWSON RESIDENCE**  
NEW RESIDENCE  
322 CALIFORNIA AVE.  
MOSS BEACH, CALIFORNIA

Date	7.11.19
Scale	1/4" = 1'-0"
Drawn	RM
Job	2019.02
Sheet	<b>A2.1</b>

REVISIONS	BY

- PROPOSED BUILDING MATERIALS**
- ① ROOFING: GAF ELK PRESTIQUE 40 YEAR- CHARCOAL
  - ② WINDOWS: KOLBE-KOLBE METAL CLAD CASEMENTS/DOUBLE HUNG
  - ③ WALL FINISH: MATCH EXISTING 5" BEVELED WOOD SIDING
  - ④ STANDING SEAM METAL ROOF
  - ⑤ NOMINAL 8" SQUARE WRAPPED COLUMNS
  - ⑥ 4"X4" CORBEL WITH 4"X6" WOOD BRACE
  - ⑦ 2"X12" SURFACED TRIM BOARD
  - ⑧ RECLAIMED NATURAL STONE VENEER
  - ⑨ WOOD CRAFTSMEN DOOR

**COLOR AND MATERIAL BOARD**

TRIM AND WINDOW COLOR  
KELLEYMOORE  
FRANK LLOYD WHITE  
FL54025

ENTRY DOOR AND ACCENT COLOR  
KELLEYMOORE  
BALMASTIC REDUCTION  
KM4904

WOOD SIDING:  
BEVELED WOOD TO  
MATCH EXISTING  
COLOR  
KELLEYMOORE  
NATIVE FLORA  
KM5745

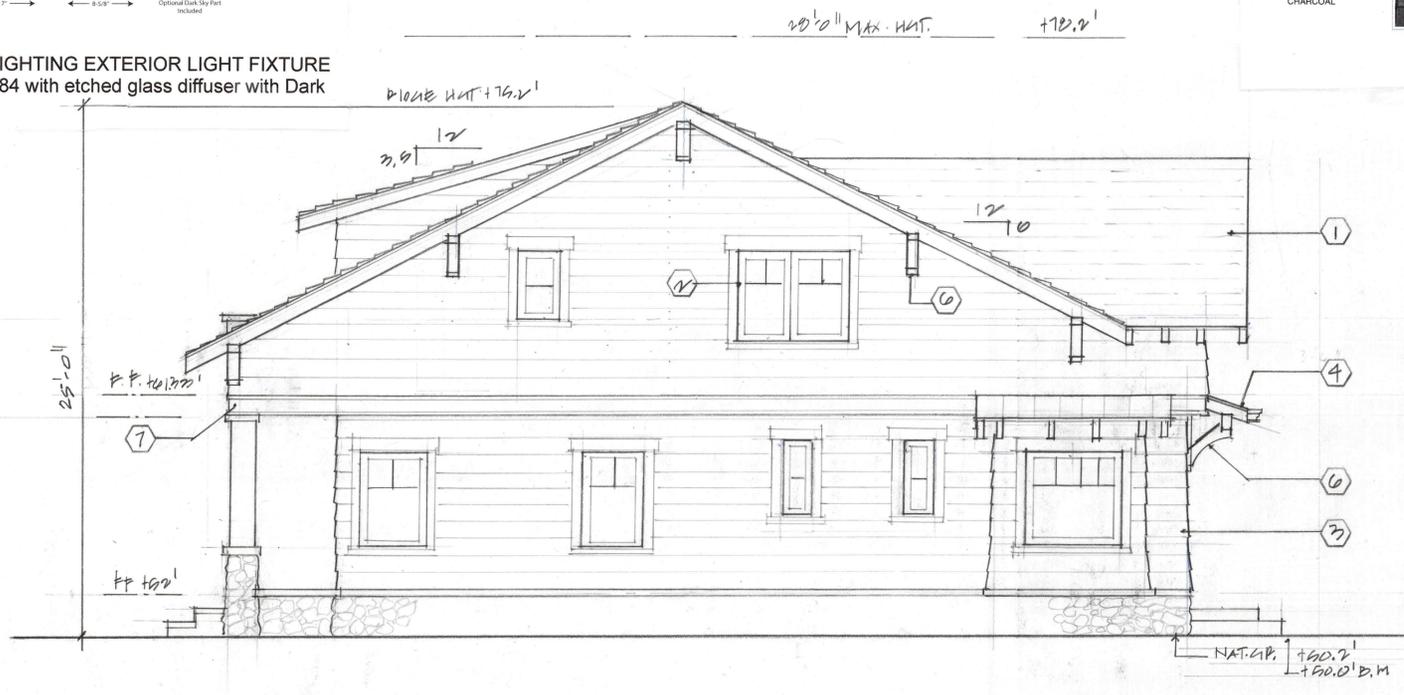
STONE VENEER  
REUSE EXISTING HOMES  
WATER WASHED STONE

ROOF COLOR  
GAF ELK PRESTIQUE 40  
YEAR ROOF  
TIMERLINE HD IN  
CHARCOAL

CLAWSON RESIDENCE  
322 CALIFORNIA AVE.  
MOSS BEACH  
ROBERT MEDAN AIA



PROGRESS LIGHTING EXTERIOR LIGHT FIXTURE  
Wish LED P6084 with etched glass diffuser with Dark  
Sky option.



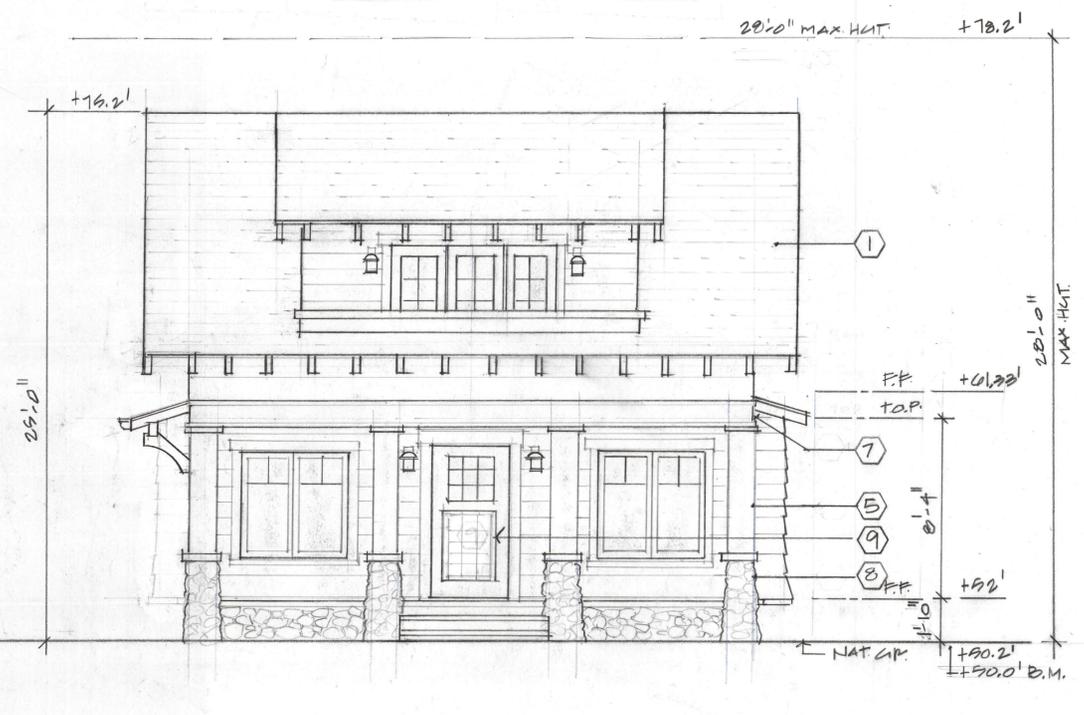
PROPOSED RIGHT ELEVATION (south)



PROPOSED REAR ELEVATION (east)



PROPOSED LEFT ELEVATION (north)



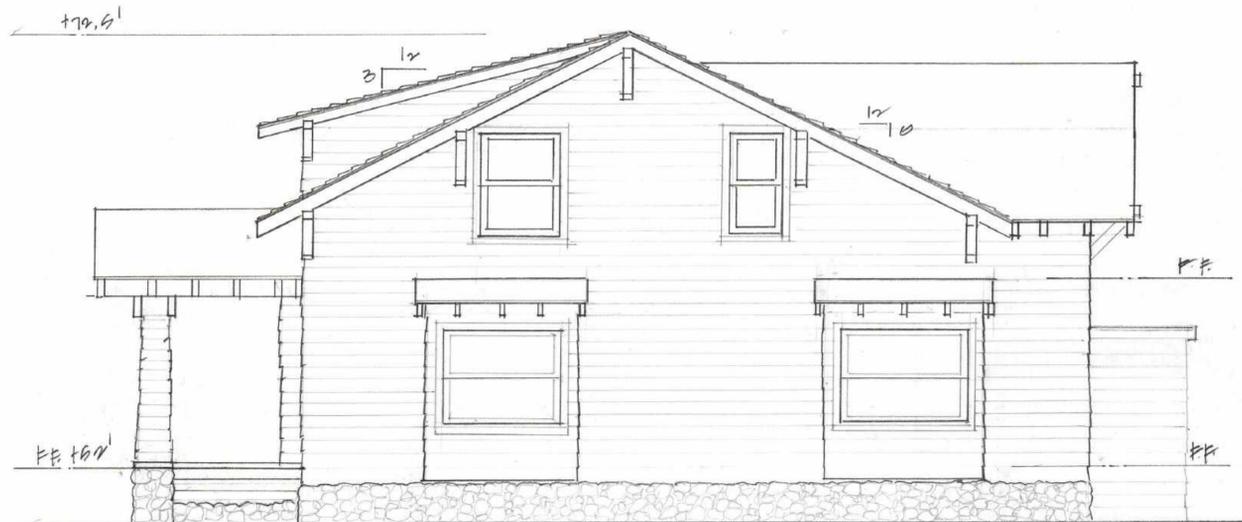
PROPOSED FRONT ELEVATION (west) 1/4"=1'-0"

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robertmedan@earthlink.net

**CLAWSON RESIDENCE**  
NEW RESIDENCE  
322 CALIFORNIA AVE  
MOSS BEACH, CALIFORNIA

Date 1.11.19  
Scale 1/4"=1'-0"  
Drawn P.M.  
Job 2019.02  
Sheet  
**A3**  
Of Sheets

REVISIONS	BY



EXISTING RIGHT ELEVATION (south) 1/4"=1'-0"



EXISTING REAR ELEVATION (east) 1/4"=1'-0"



EXISTING LEFT ELEVATION (north) 1/4"=1'-0"



EXISTING FRONT ELEVATION (west) 1/4"=1'-0" AS-BUILT EXTERIOR ELEVATIONS

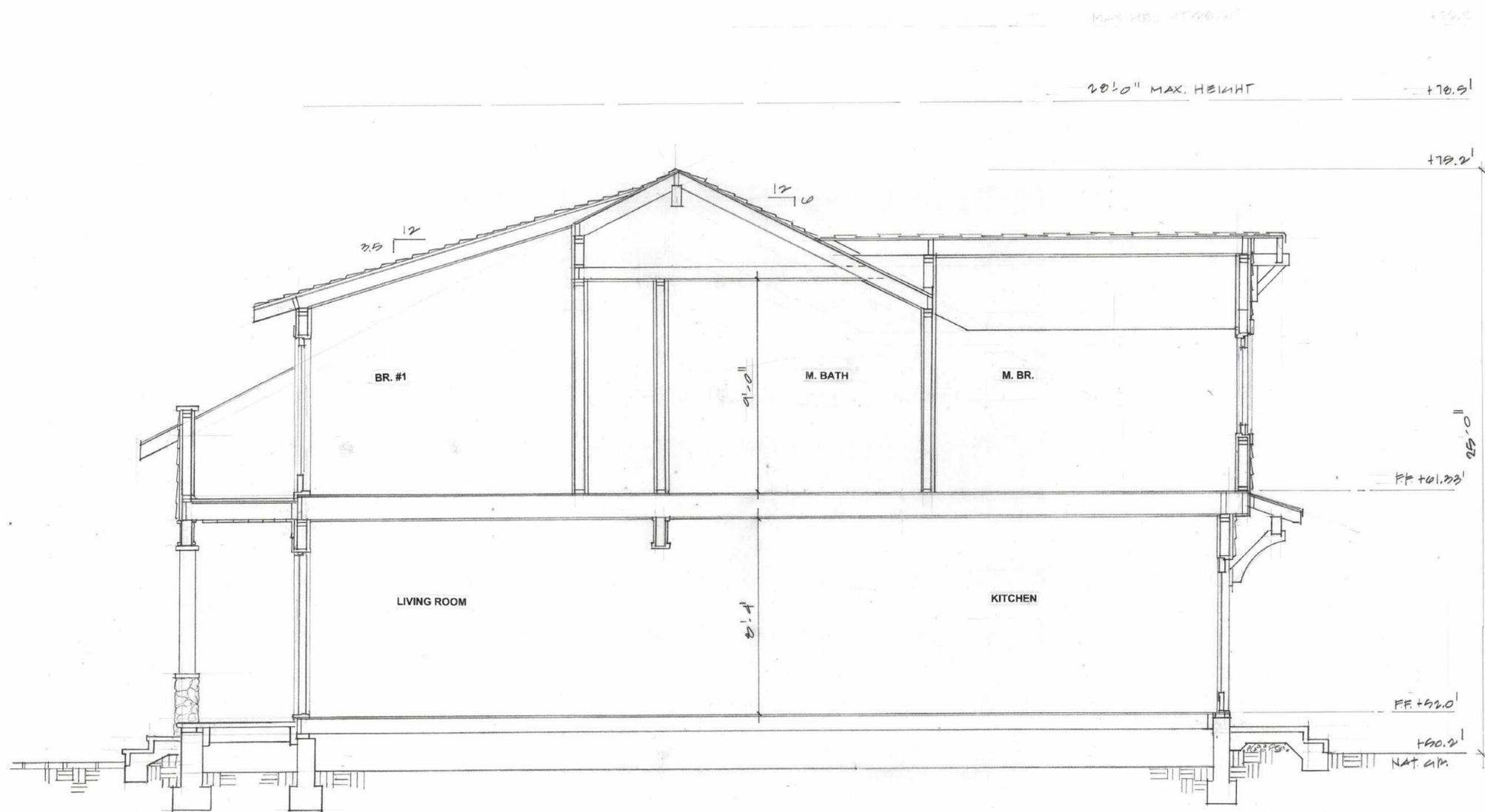
**ROBERT MEDAN**  
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robertmedan@earthlink.net

**CLAWSON RESIDENCE**  
NEW RESIDENCE  
322 CALIFORNIA AVE.  
MOSS BEACH, CALIFORNIA

Date 7.11.19  
Scale 1/4"=1'-0"  
Drawn KM  
Job 2019.02  
Sheet  
**A3.1**  
Of 3 sheets

REVISIONS	BY

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**BUILDING SECTION A-A** 3/8" = 1'-0"

**CLAWSON RESIDENCE**  
 NEW RESIDENCE  
 322 CALIFORNIA AVE.  
 MOSS BEACH, CALIFORNIA

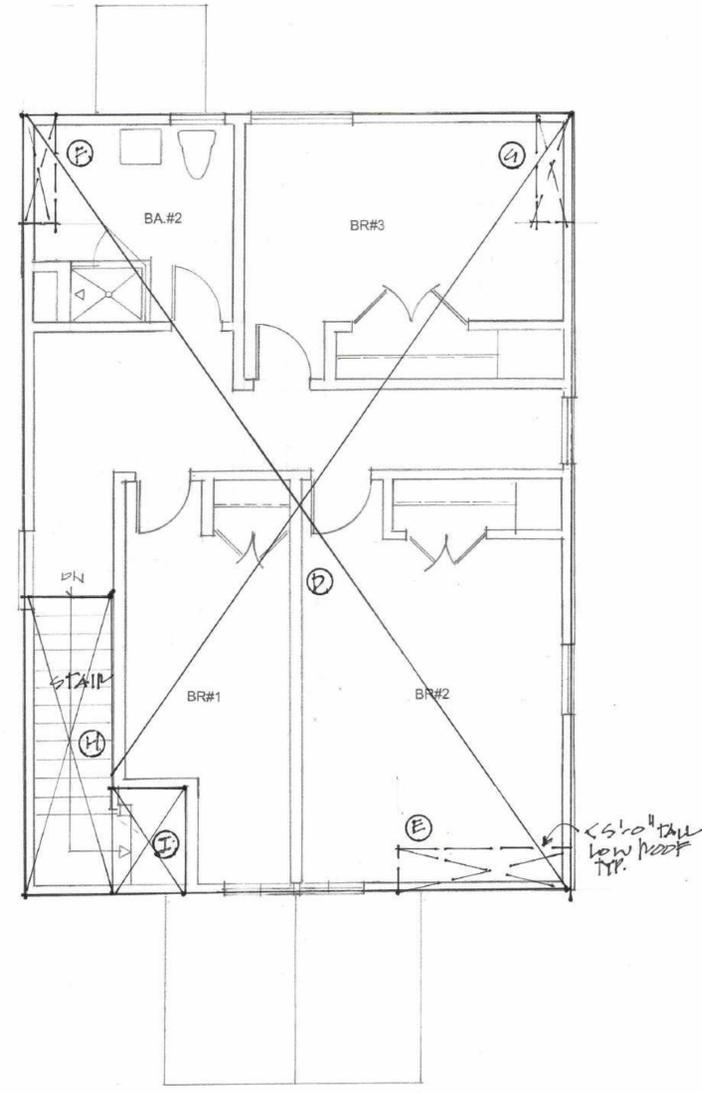
Date 7.11.19  
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 Drawn RM  
 Job 2019.02  
 Sheet  
**A4**  
 Of 4 Sheets

FIRST FLOOR		
SECTION	DIMENSION	
A	37.25X26	968
B	6X1X2	12
C	7X1X2	14
SUB-TOTAL		994
SECOND FLOOR		
D	37.25X26	968
E	8X2	16 SUBTRACT
F	5X2	10 SUBTRACT
G	5X2	10 SUBTRACT
H	5X14	70 SUBTRACT
I	4.5X3	14 SUBTRACT
SUB-TOTAL		120
		968-120=
		848
GRAND TOTAL		1842

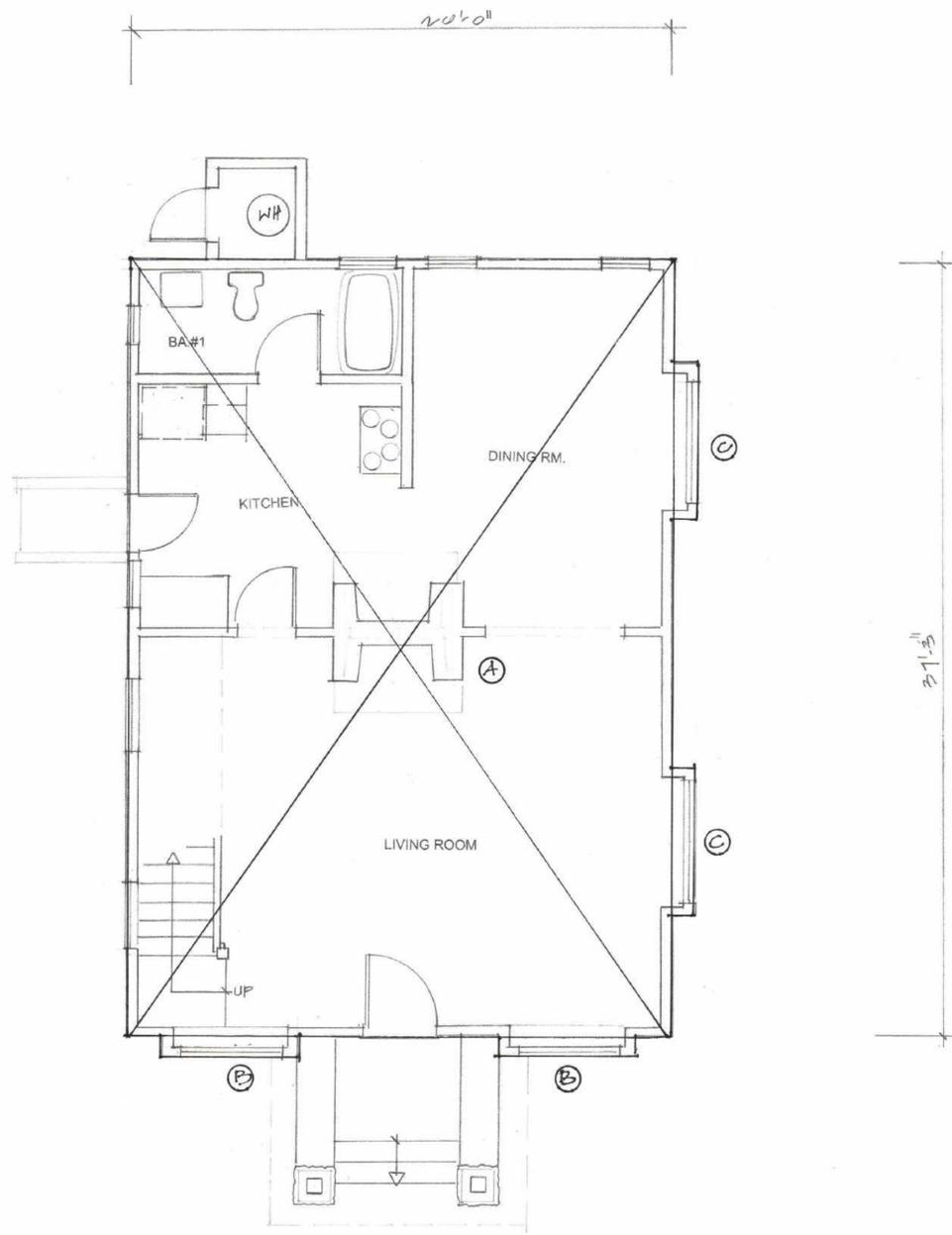
REVISIONS	BY

**ROBERT MEDAN**  
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**CLAWSON RESIDENCE**  
NEW RESIDENCE  
322 CALIFORNIA AVE.  
MOSS BEACH, CALIFORNIA



SECOND FLOOR PLAN



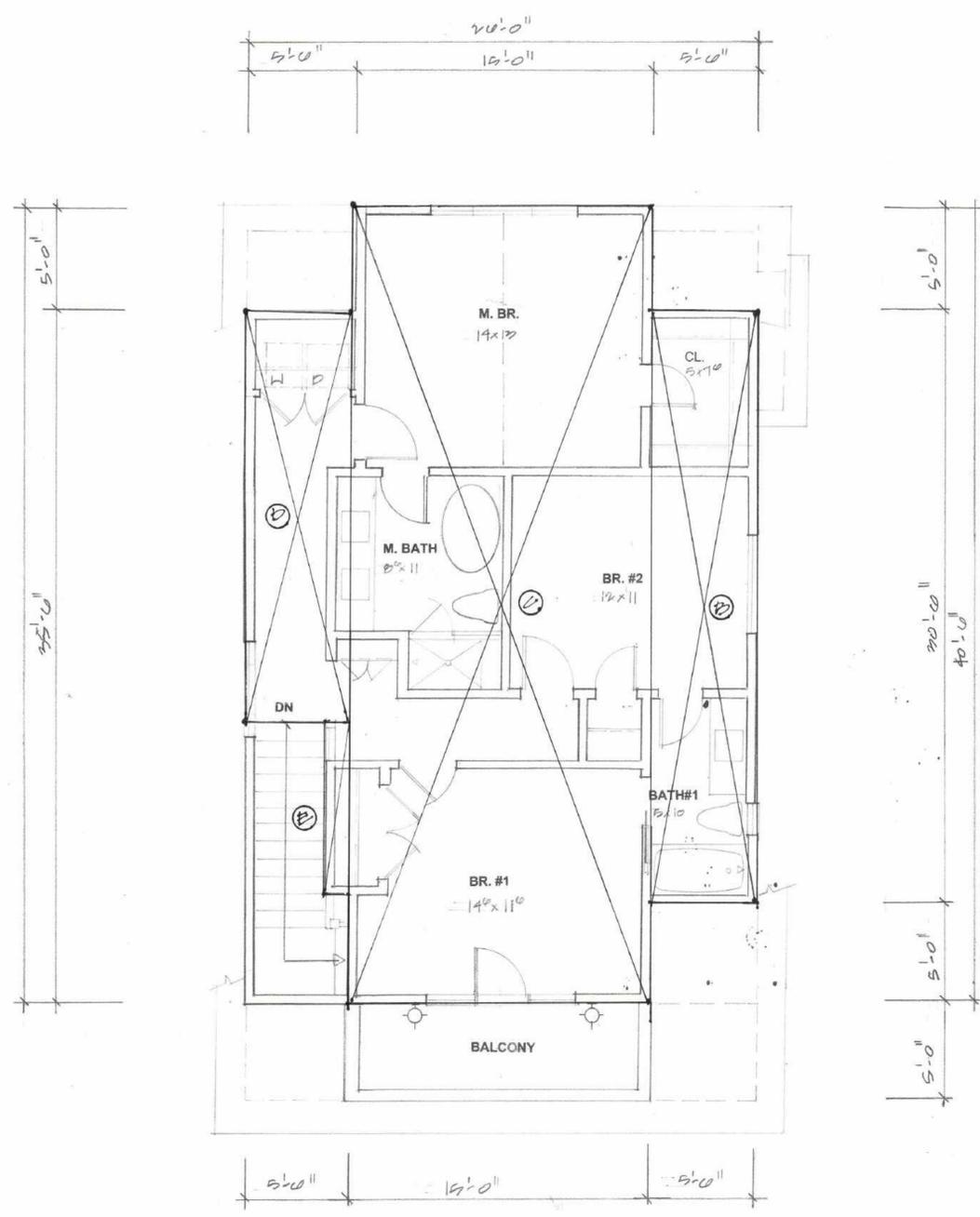
FIRST FLOOR PLAN

AS-BUILT FLOOR AREA DIAGRAM

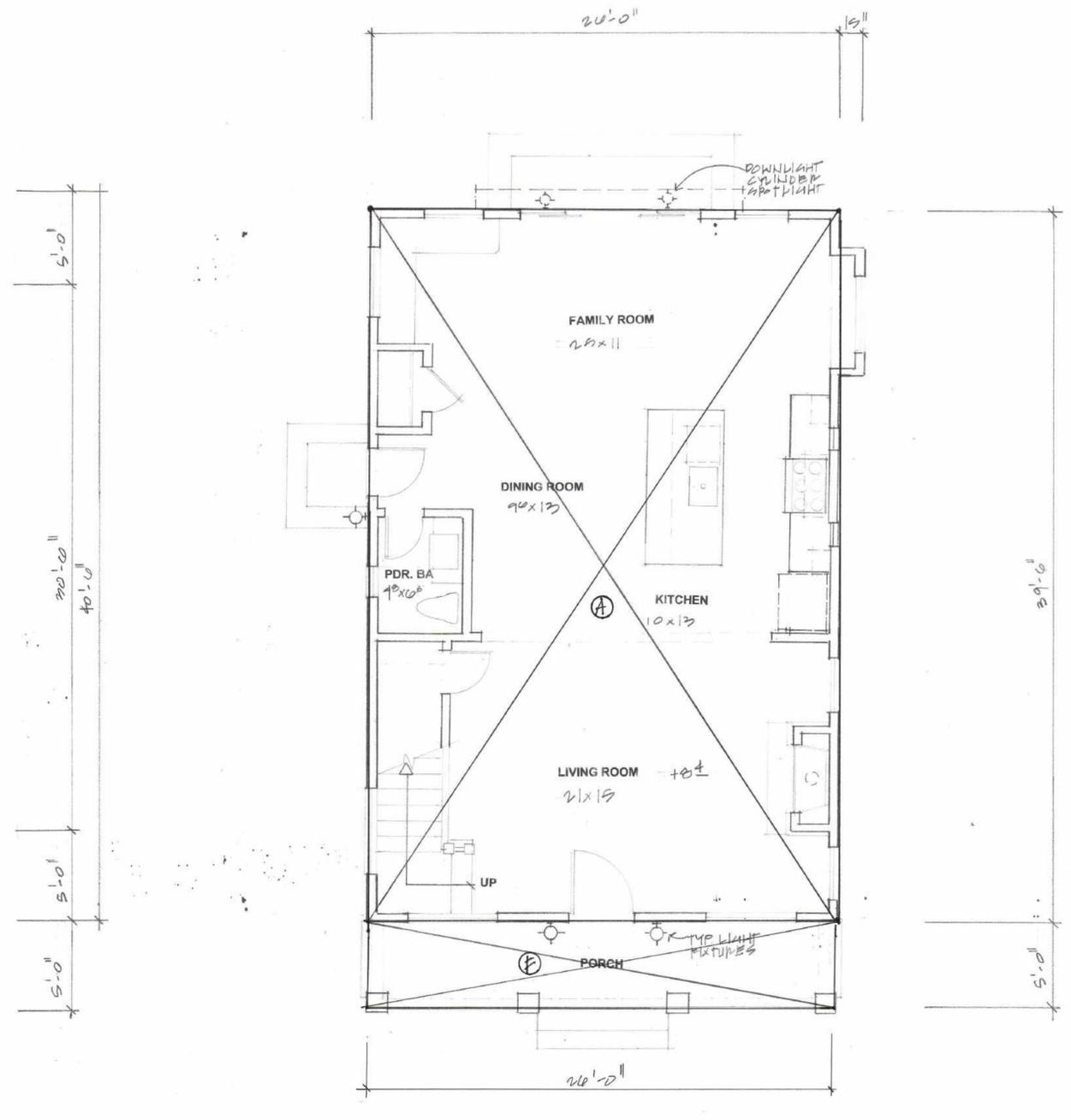
Date	7.11.19
Scale	1/4" = 1'-0"
Drawn	MM
Job	201902
Sheet	<b>A5</b>

REVISIONS	BY

FIRST FLOOR PROPOSED		
SECTION	DIMENSION	
A	39.5X26	1027
SUB-TOTAL		1027
SECOND FLOOR		
B	30.5X5.5	167.75
C	40.5X15	607.5
D	5.5X20.75	114.25
E	8.5X.75	6.5
SUB-TOTAL		896
F	5X26	130 PORCH
GRAND TOTAL		2053



PROPOSED SECOND FLOOR PLAN 1/4"=1'-0"



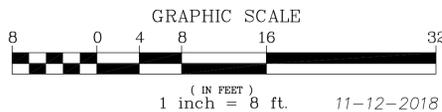
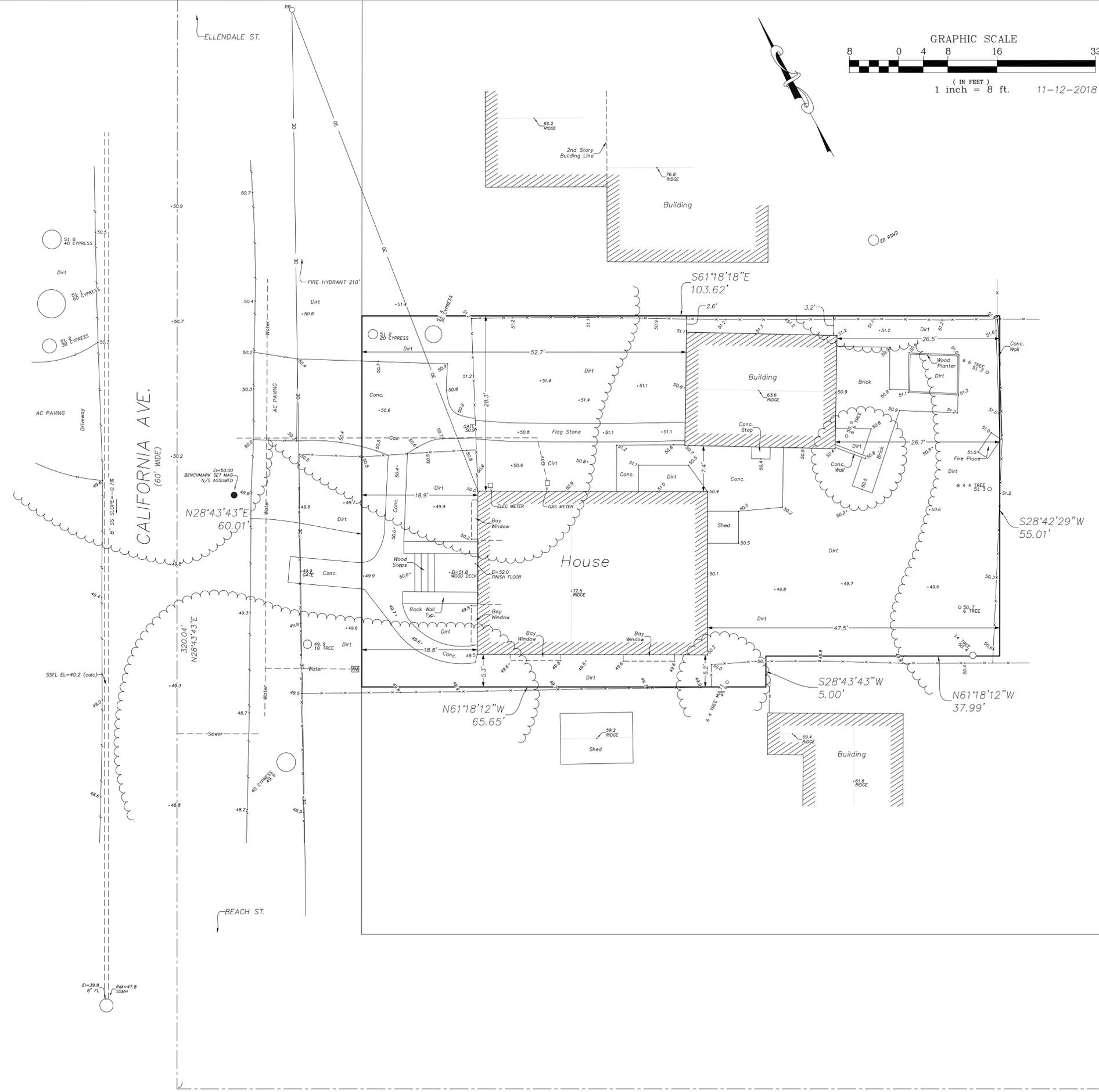
PROPOSED FIRST FLOOR PLAN 1/4"=1'-0"

PROPOSED FLOOR AREA DIAGRAM

**ROBERT MEDAN**  
ARCHITECT  
1936 LOS ALTOS DRIVE  
SAN MATEO, CA 94402  
T 650.577.8477  
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**CLAWSON RESIDENCE**  
NEW RESIDENCE  
322 CALIFORNIA AVE.  
MOSS BEACH, CALIFORNIA

Date 7.11.19  
Scale 1/4"=1'-0"  
Drawn MM  
Job 2019.02  
Sheet **A6**  
Of 1 sheets



**NOTES**  
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.  
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.  
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.  
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. THE BUILDING EXTERIOR FINISHED SURFACE IS WOOD SIDING AND VARIES APPROXIMATELY 0.04'-0.07' IN THICKNESS.  
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).  
 BENCHMARK: ASSUMED DATUM, POINT AS SHOWN  
 A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.  
 TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.  
 TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE

**LEGEND**

- FOUND POINT IN MONUMENT CASTING (AS NOTED)
- FOUND POINT AS NOTED
- ( ) RECORD DATA / REFERENCE
- WM WATER METER OR WATER VALVE BOX
- ⊕ FIRE HYDRANT
- ⊙ 16 12 8 OAK
- ⊙ 16 12 8 OAK
- TRUNK ↑ TREE WITH MULTIPLE TRUNKS
- ↑ TRUNK ↑ TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
- +25.34 TC TOP OF CURB
- x—x—x—x— FENCE
- DE— OVERHEAD WIRES
- PP POWER POLE
- + 12.34 SPOT ELEVATION
- +—+—+—+— EDGE OF AC PAVING
- GAS UNDERGROUND PAINT MARKINGS PROVIDED BY OTHERS.

**ABBREVIATIONS**

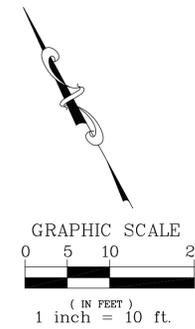
AC	ASPHALT
CONC.	CONCRETE
TC	TOP OF CURB
FL	FLOW LINE
SSMH	SANITARY SEWER MANHOLET



**L. Wade Hammond**  
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 wade@whlandsurveyor.com

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 322 CALIFORNIA AVE.  
 MOSS BEACH  
 APN: 037-118-020  
 DOC# 2018-061663  
 LOT AREA: 6,092 SQ. FT.

# CLAWSON RESIDENCE 322 CALIFORNIA AVENUE MOSS BEACH, CA 94038



## PROJECT DESIGN TEAM

OWNER: RUTH CLAWSON  
322 CALIFORNIA AVENUE  
MOSS BEACH, CA 94038  
(707)639-6401  
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ARCHITECT: ROBERT MEDAN  
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SCALE	1" = 10'
DATE	11-13-2019
JOB#	4290
APN	037-118-020

**CLAWSON RESIDENCE**  
**322 CALIFORNIA AVENUE**  
**MOSS BEACH, CA 94038**  
UNINCORPORATED SAN MATEO COUNTY



REVISIONS	DATE
1	11-23-2019
2	5-20-2020
3	8-6-2020

NUMBER	REVISIONS	DATE
1	REMOVE TREE, HYDRO, EROSION	11-23-2019
2	TREE PROTECTION, ERO. CTRL	5-20-2020
3	PLAN & BLDG. REVIEW	8-6-2020

SHEET NUMBER

**C-1**  
1 OF 6

### CAUTION

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK.

### GENERAL SITE NOTES

- ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS.
- CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE; AND REPORT ANY DISCREPANCIES TO THE CIVIL ENGINEER OF RECORD.
- ALL WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL OR SOIL REPORT
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- ALL DISTANCES AND DIMENSION SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

### DEMOLITION NOTES

- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS TO REMOVE AND DISPOSE OF HAZARDOUS MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR DEMOLITION.
- TRENCHES AND DEPRESSIONS RESULTING FROM DEMOLITION TO BE BACKFILLED TO THE SATISFACTION OF THE PROJECT GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO BEGINNING DEMOLITION ACTIVITIES AS SPECIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN.

### RECORD DRAWINGS

- PRIOR TO FINAL APPROVAL; A CORRECTED AND COMPLETE SET OF RECORD DRAWINGS SHALL BE SUBMITTED TO APPLICABLE MUNICIPALITIES. THE CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ANY AND ALL CHANGES MADE FROM THE ORIGINAL DRAWINGS THROUGHOUT THE DURATION OF THE ENTIRE CONSTRUCTION PERIOD.

### TREE PRESERVATION

- REMOVAL OF EXISTING TREES WITHIN THE DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNING MUNICIPALITY.
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD
- TREES CALLED OUT FOR PRESERVATION SHALL BE FENCED AT THE DRIPLINE. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES. PLACE 3 INCH BARK MULCH BENEATH DRIPLINES OF TREES TO BE PRESERVED.
- FENCING SHALL BE 6 FEET TALL CHAIN LINK FENCING WITH STEEL POSTS EMBEDDED IN THE GROUND.
- NO GRADING SHALL OCCUR WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.

### PAVEMENT SECTIONS

- CONTRACTOR SHALL REFER TO THE STRUCTURAL DRAWINGS FOR BUILDING FOUNDATION SECTIONS AND PAD PREPARATIONS.
- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR EXTERIOR HARDSCAPE AND VEHICULAR PAVEMENT REQUIREMENTS.

### SITE MAINTENANCE

- REMOVE ALL SEDIMENT, DEBRIS, REFUSE AND GREEN WASTE FROM STREET AND STORM DRAINS ADJOINING THE SITE. PROVIDE A RUMBLE RACK OR PLATE IF CONSTRUCTION ACCESS IS PAVED; INSTALL A GRAVELED CONSTRUCTION ENTRANCE IF NOT. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR

GRAVELED AREAS DURING WET WEATHER.

- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJACENT TO THE PROJECT SITE AS NECESSARY TO KEEP THE PUBLIC RIGHT-OF-WAY FREE OF SEDIMENT OR DEBRIS TRACKED-OUT FROM CONSTRUCTION ACTIVITIES.
- PROVIDE A COVERED CONTAINMENT AREA TO STORE CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES OR OTHER MATERIALS THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM IN THE EVENT OF A SPILL.
- CONTRACTOR SHALL NOT CLEAN EQUIPMENT, MACHINERY OR TOOLS IN STREET, GUTTER OR STORM DRAIN.
- CONTRACTOR SHALL ENSURE THAT CONCRETE TRUCKS, PAINTERS OR FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM MACHINERY, TOOLS OR EQUIPMENT INTO STREET, GUTTER OR STORM DRAIN.
- PROJECT OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL ON-SITE STORM DRAIN IMPROVEMENTS UPON PROJECT COMPLETION.

### DUST CONTROL

- CONTRACTOR SHALL WATER SITE AS DEEMED NECESSARY BY THE INSPECTOR TO ENSURE PROPER DUST CONTROL FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJACENT TO THE PROJECT SITE AS NECESSARY TO KEEP THE PUBLIC RIGHT-OF-WAY FREE OF DUST CAUSED BY CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ENSURE ALL TRUCKS HAULING SOIL, SAND OR OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPS OR OTHER APPROPRIATE COVERINGS.

### STORM DRAIN MAINTENANCE

- TO ENSURE FUNCTIONALITY, STORM DRAIN AND GRADING IMPROVEMENTS REQUIRE REGULAR MAINTENANCE. MONITOR THE DETENTION SYSTEM, CONVEYANCE LINES, ROOF GUTTERS AND DOWNSPOUTS PERIODICALLY AND REMOVE DEBRIS. GRADED SLOPES SHOULD BE MONITORED AND RE-VEGETATED AS NECESSARY.

### NPDES REQUIREMENTS

- ALL ON-SITE AND OFF-SITE CONSTRUCTION ACTIVITIES SHALL ADHERE TO THE NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING ANY MUNICIPAL SEPARATE STORM SEWER SYSTEMS.
- ERODED SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES MUST BE RETAINED ON SITE.
- STOCKPILES OF LOOSE CONSTRUCTION MATERIALS MUST BE PROTECTED TO KEEP WIND OR WATER FORCES FROM TRANSPORTING MATERIAL OFF-SITE.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL OR SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS SHALL NOT BE WASHED INTO ANY DRAINAGE SYSTEM.
- WASTE CONCRETE SHALL NOT BE WASHED INTO ANY DRAINAGE SYSTEM. CONTRACTOR SHALL PROVIDE NECESSARY PROVISIONS TO RETAIN CONCRETE WASTE ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- CONSTRUCTION RELATED WASTE AND DEBRIS SHALL BE KEPT IN A COVERED RECEPTACLE TO PREVENT CONTAMINATION OR DISPERSAL BY WIND OR RAIN.
- PROVIDE A STABILIZED CONSTRUCTION ENTRANCE AT VEHICULAR ACCESS TO SITE TO PREVENT SEDIMENT OR DEBRIS FROM BEING TRACKED INTO PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND SHALL NOT BE WASHED AWAY FROM RAIN OR OTHER MEANS.
- ALL SLOPES WITH DISTURBED SOILS OR REMOVED VEGETATION SHALL BE STABILIZED TO PREVENT EROSION.

### EROSION AND SEDIMENT CONTROL

- THE CONCEPTS OF THE EROSION AND SEDIMENT CONTROL PLAN ARE SCHEMATIC AND DEMONSTRATE THE INTENT OF THE

CONTROL MEASURES. THE CONTRACTOR SHALL DETERMINE THE EXACT DESIGN AND EXTENT OF THE CONTROL MEASURES AS TO WORK WITH THE CONTRACTOR'S USE AND MANAGEMENT OF THE CONSTRUCTION SITE.

- THE CONTRACTOR SHALL INSPECT AND MONITOR THE EROSION AND SEDIMENT CONTROL MEASURES AND MAKE REPAIRS AS NECESSARY TO ENSURE FUNCTIONALITY.
- EROSION CONTROL MEASURES MUST BE IN PLACE THROUGHOUT THE RAINY SEASON (OCTOBER 1ST THROUGH APRIL 30TH).

### SITE CONSTRUCTION FENCE

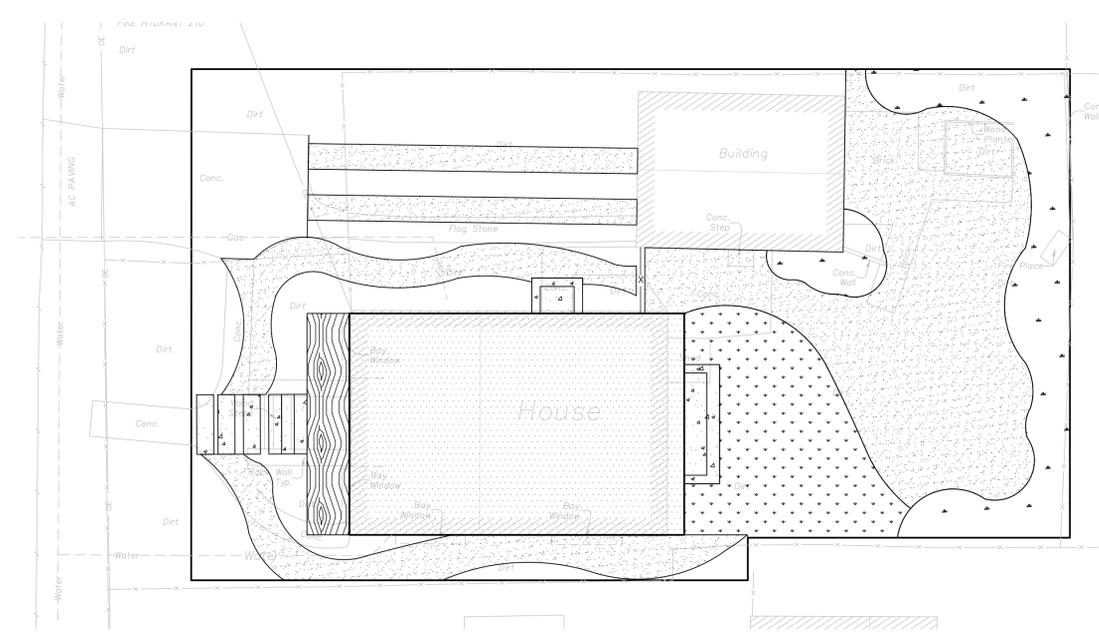
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION. THE FENCE SHALL BE A MINIMUM OF A 6' GALVANIZED CHAIN LINK WITH WINDSCREEN FABRIC.

### UTILITY NOTES

- ALL TRENCHES SHALL BE BACKFILLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT ACCOUNTS FOR THE ACTUAL LOCATION OF EXISTING UTILITIES DETERMINED DURING DEMOLITION.
- THE UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE NECESSARY FITTINGS AND ACCESSORIES SO THAT THE SYSTEM IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THE APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AND SURFACE EVIDENCE. THE OWNER, BY ACCEPTING THESE PLANS AGREES TO HOLD UNDERSIGNED HARMLESS FROM DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES NOT REPORTED OR INDICATED ON PUBLIC RECORDS OR NOT ASCERTAINABLE FROM SURFACE EVIDENCE.
- CONTRACTOR SHALL VERIFY ALL EXISTING STORM DRAIN AND SANITARY SEWER INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY WORK. ALL STORM DRAIN AND SANITARY SEWER WORK SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT TO ALLOW FOR NECESSARY ADJUSTMENTS TO THE ENTIRE LINE.
- A MINIMUM OF SIX INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT WATER AND SANITARY SEWER PIPELINES SHALL BE TWELVE INCHES AND NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE EXISTING SANITARY SEWER PIPELINES.
- A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE FEET, EXCEPT WATER AND SANITARY SEWER PIPELINES SHALL BE A MINIMUM OF TEN FEET, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT APPROPRIATE UTILITY SERVICE PROVIDERS AND REQUEST VERIFICATION OF SERVICE POINTS.
- ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THE ENDS CAPPED OUTSIDE THE BUILDING ENVELOPE.

### FIRE PROTECTION NOTES

- CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS AND THE CALIFORNIA FIRE CODE AND LOCAL MUNICIPALITY STANDARDS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS AND SUBMIT SAID DRAWINGS TO THE LOCAL FIRE MARSHALL FOR REVIEW AND APPROVAL.

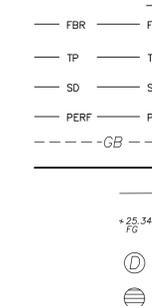


### EXISTING

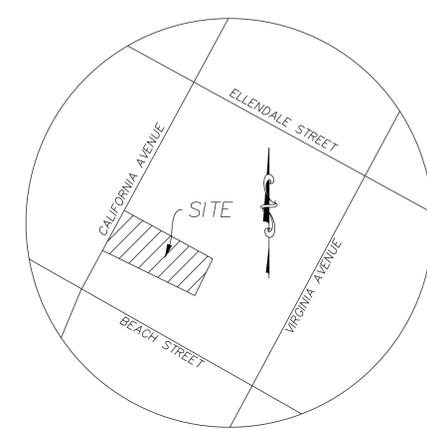


WATER METER OR WATER VALVE BOX  
FIRE HYDRANT  
TREE - TRUNK DIAMETER IN INCHES  
TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS  
TREE WITH MULTIPLE TRUNKS  
TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.  
TOP OF CURB  
FENCE  
OVERHEAD WIRES  
POWER POLE  
SPOT ELEVATION  
EDGE OF AC PAVING  
UNDERGROUND PAINT MARKINGS PROVIDED BY OTHERS.

### PROPOSED



FIBER ROLL  
TREE PROTECTION FENCE  
4" PVC STORM DRAIN CONVEYANCE LINE  
4" PVC PERFORATED PVC SUBDRAIN LINE  
GRADE BREAK  
IMPROVEMENT OUTLINE  
DRAINAGE COURSE  
FINISHED GRADE SPOT ELEVATION  
RAINWATER DOWNSPOUT  
AREA DRAIN



VICINITY MAP  
NO SCALE

ESTIMATED EARTHWORK QUANTITIES	
CUT (WITHIN BUILDING ENVELOPE)	15 C. Y.
CUT (OUTSIDE BUILDING ENVELOPE)	25 C. Y.
FILL (WITHIN BUILDING ENVELOPE)	0 C. Y.
FILL (OUTSIDE BUILDING ENVELOPE)	5 C. Y.
BALANCE (EXPORT)	40 C. Y.

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

### ABBREVIATIONS

AC	ASPHALT
CONC.	CONCRETE
DG	DECOMPOSED GRANITE
TC	TOP OF CURB
FL	FLOW LINE
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEAN OUT
FG	FINISHED GRADE
(E)	EXISTING
(N)	NEW
ELEC.	ELECTRIC
COMM.	COMMUNICATIONS
(TYP.)	TYPICAL



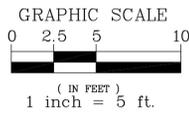
### SHEET INDEX

- C-1 TITLE SHEET
- C-2 GRADING & DRAINAGE PLAN
- C-3 DETAILS
- C-4 EROSION CONTROL PLAN
- C-5 SAN MATEO COUNTY BMPs
- C-6 IMPERVIOUS AREAS EXHIBIT

**GRADING NOTES:**

- CLEARANCE BETWEEN WOOD SIDING AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 6 INCHES OR LESS THAN 2 INCHES VERTICAL FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER EXCEPT WHERE SIDING, SHEATHING AND WALL FRAMING ARE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. [C.B.C. 2304.12.1.5]
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT ALLOW WATER TO POND. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%); OR WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET (5%), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. [C.B.C. 1804A.4]
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF (2%) AWAY FROM THE BUILDING. [C.B.C. 1804A.4]
- IMPORT SOILS SHALL MEET THE REQUIREMENTS OF THE SOILS REPORT. ALL FILL SHALL BE COMPACTED PER THE SOILS REPORT AND THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.

# GRADING & DRAINAGE PLAN



**NOTE**  
ALL WORK CONDUCTED IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.

**INSPECTIONS REQUIRED**  
THE COUNTY OF SAN MATEO REQUIRES ALL STORMWATER MANAGEMENT FEATURES TO BE INSPECTED BY THE PROJECT CIVIL ENGINEER DURING CONSTRUCTION. CONTACT WITH 48-HR ADVANCED NOTICE FOR INSPECTIONS:  
**L. Wade Hammond**  
wade@whlandsurveyor.com  
(510)579-6112

**L. Wade Hammond**  
Civil Engineering & Land Surveying  
36660 Newark Blvd. Suite C  
Newark, California 94560  
Tel: (510) 579-6112 wade@whlandsurveyor.com

SCALE	1" = 5'
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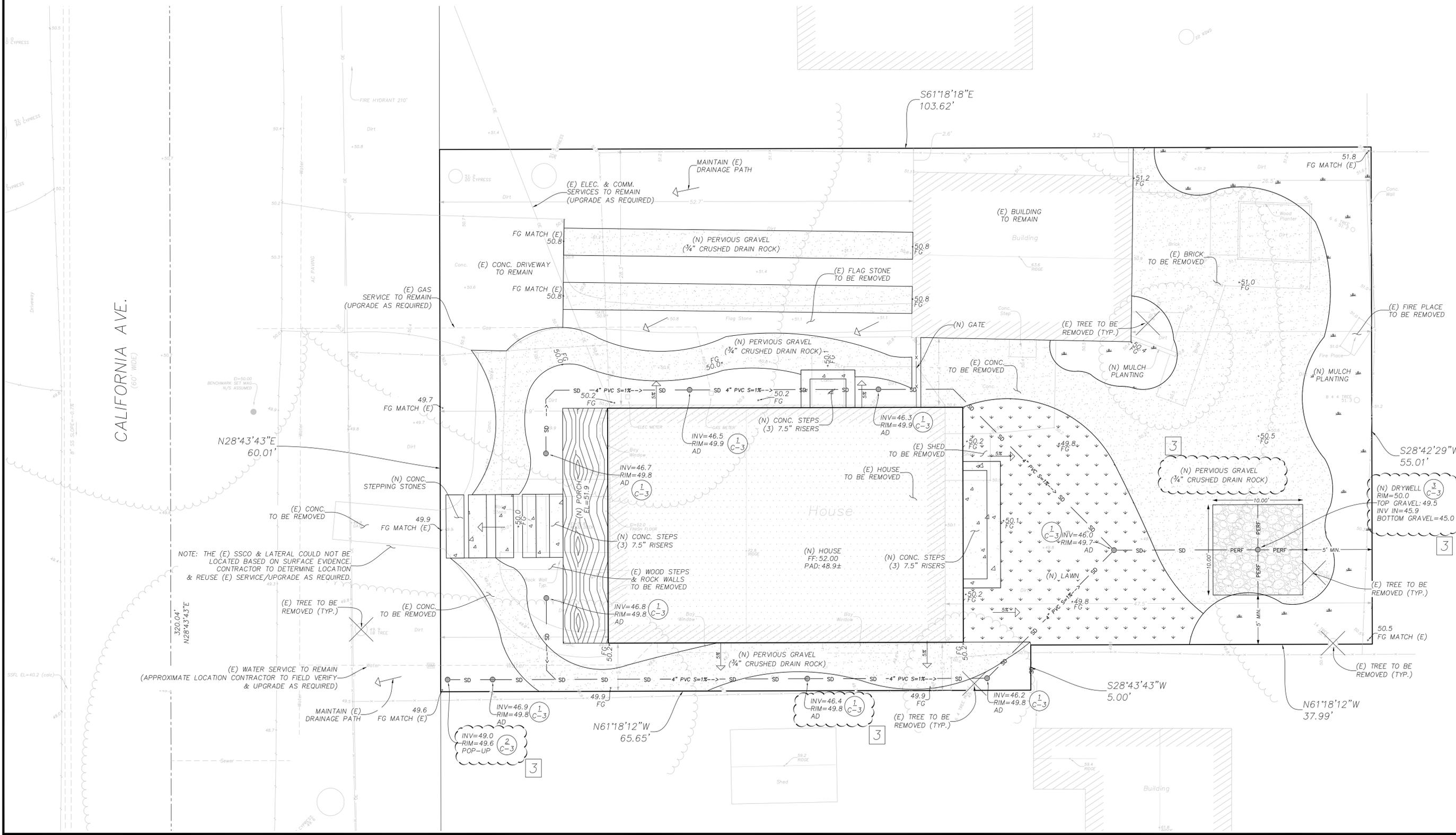
**CLAWSON RESIDENCE**  
**322 CALIFORNIA AVENUE**  
**MOSS BEACH, CA 94038**  
UNINCORPORATED SAN MATEO COUNTY



NUMBER	REVISIONS	DATE
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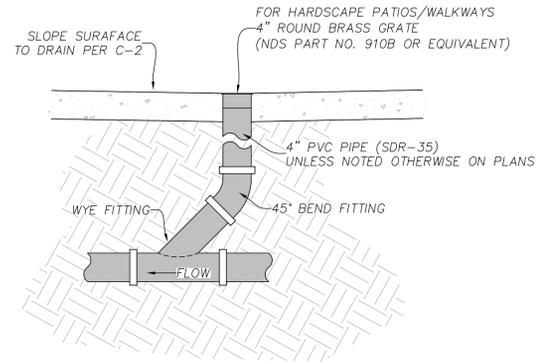
SHEET NUMBER

**C-2**



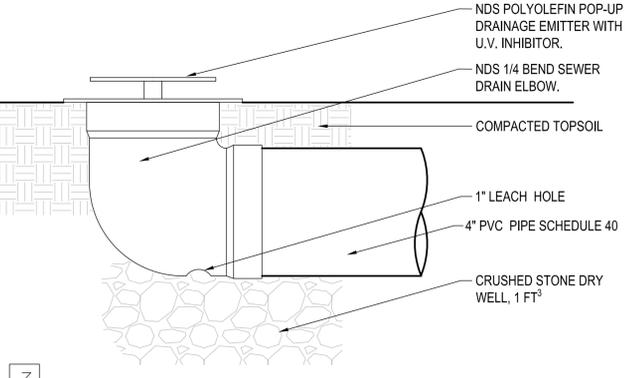
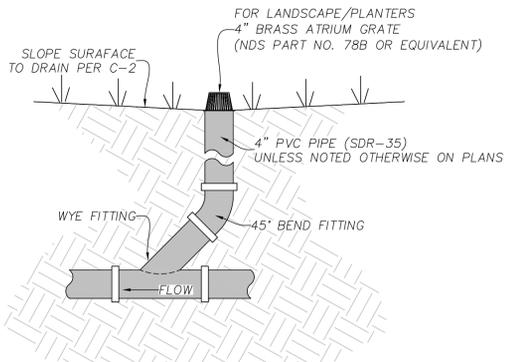
NOTE: THE (E) SSCO & LATERAL COULD NOT BE LOCATED BASED ON SURFACE EVIDENCE. CONTRACTOR TO DETERMINE LOCATION & REUSE (E) SERVICE/UPGRADE AS REQUIRED.

# DETAILS



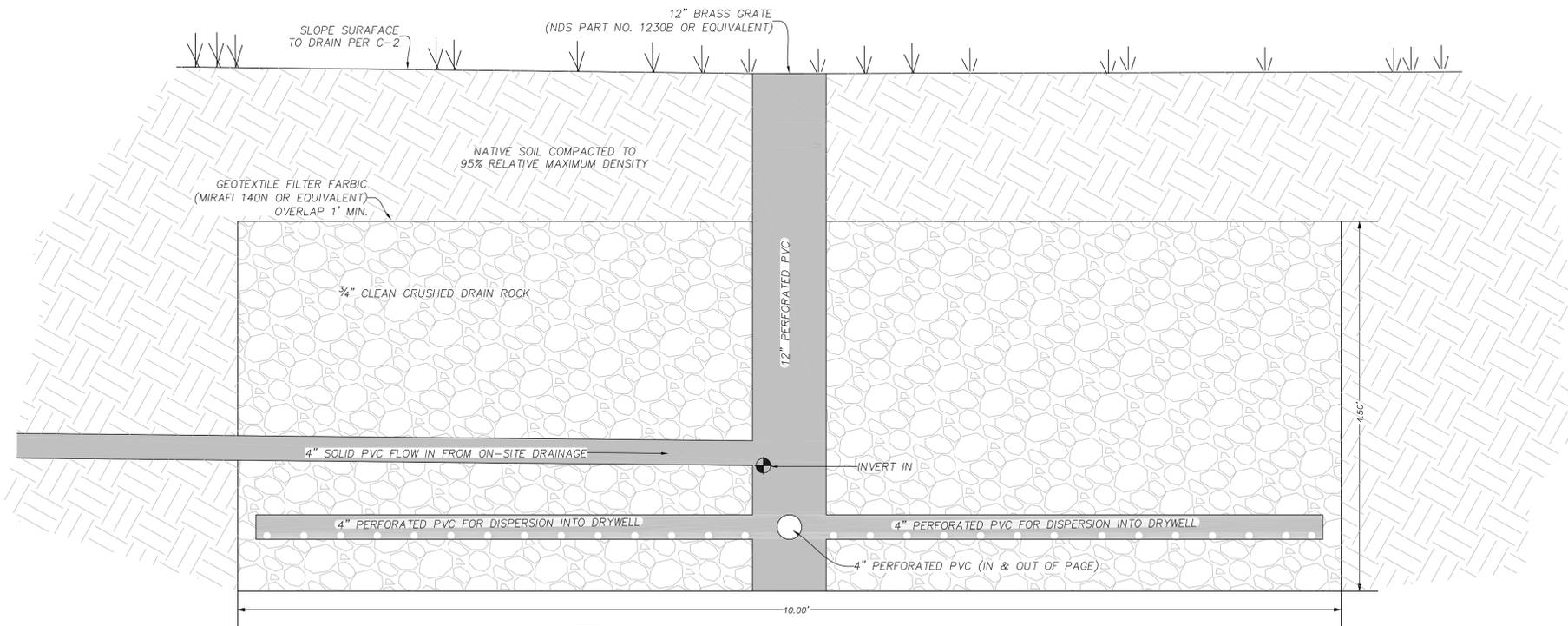
3

① AREA DRAIN  
NOT TO SCALE



3

② POP-UP EMITTER  
NOT TO SCALE



3

③ DRYWELL  
NOT TO SCALE

L. Wade Hammond  
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36660 Newark Blvd. Suite C  
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SCALE	N.T.S.
DATE	11-13-2019
JOB#	4290
APN	037-118-020

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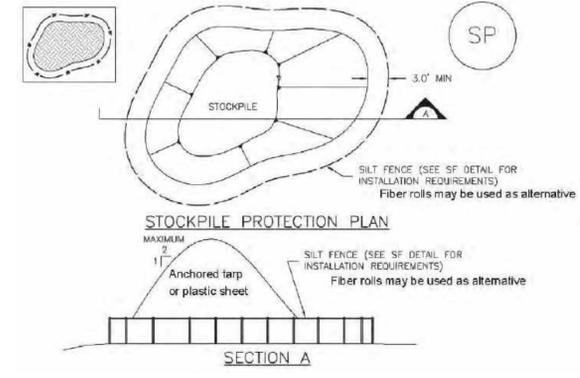
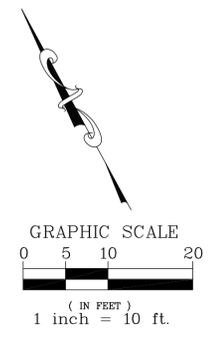
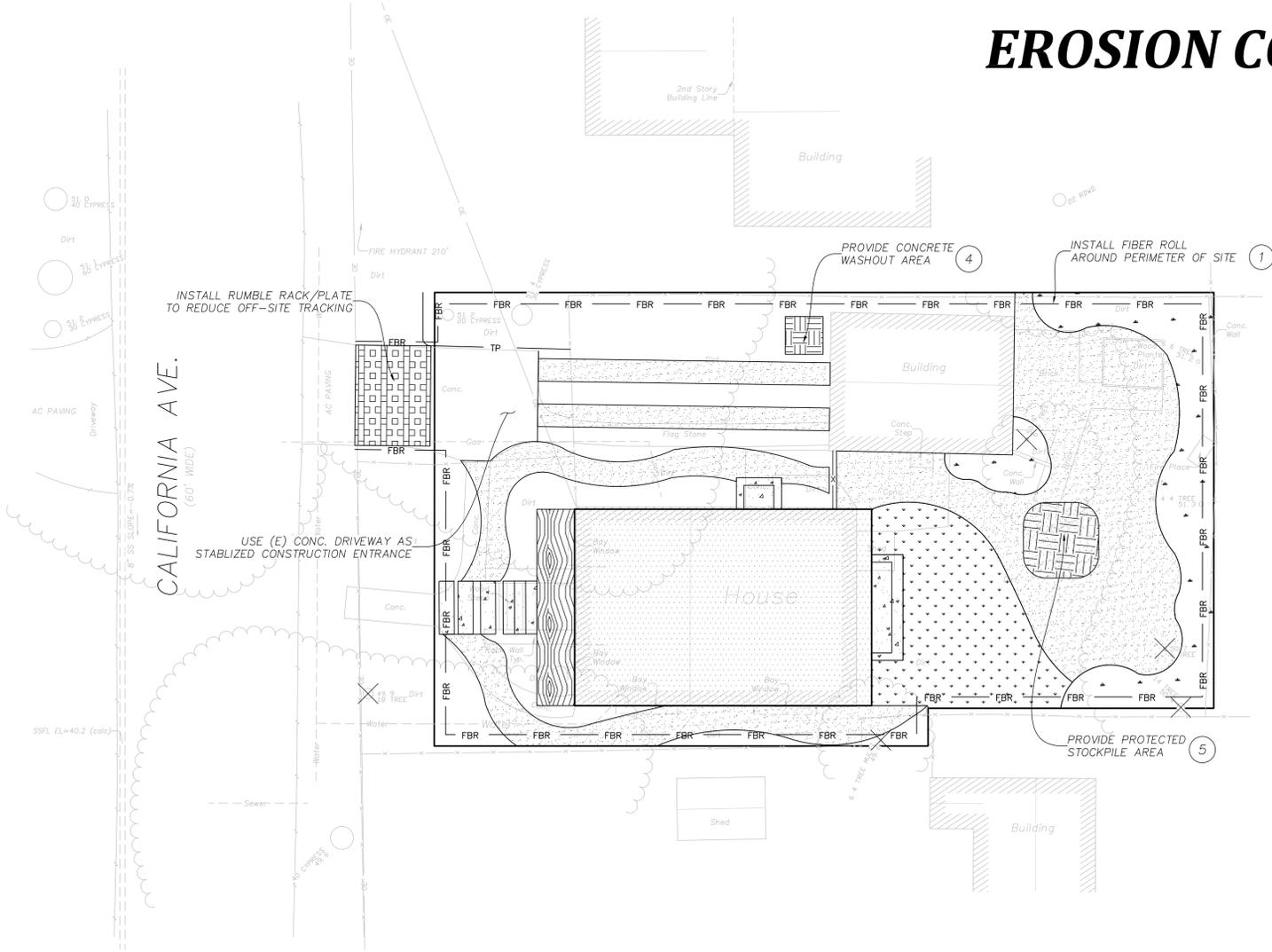


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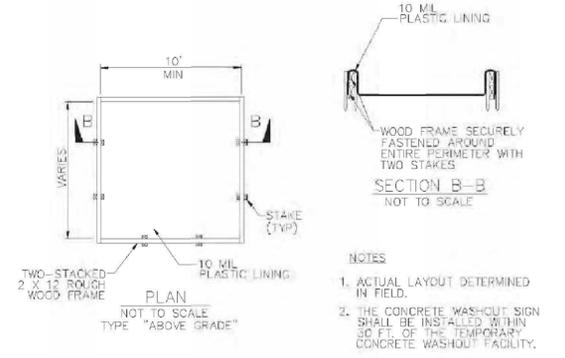
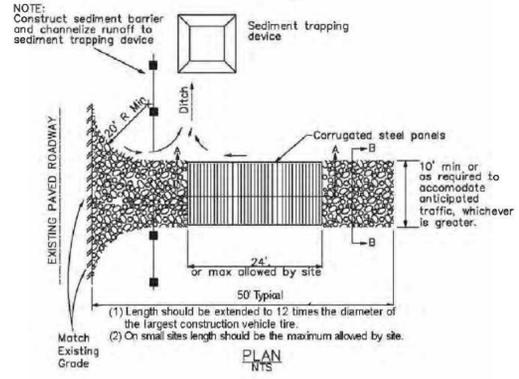
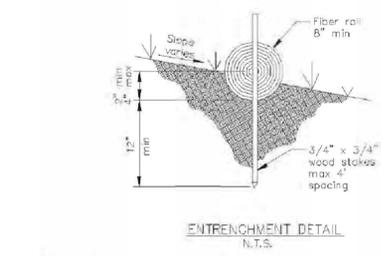
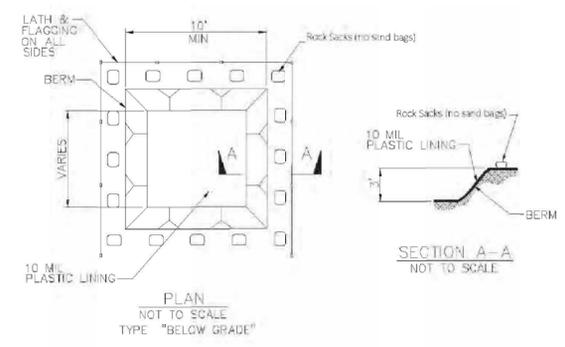
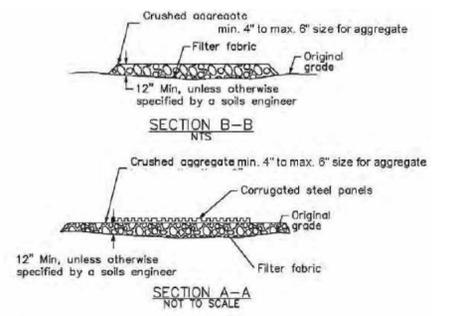
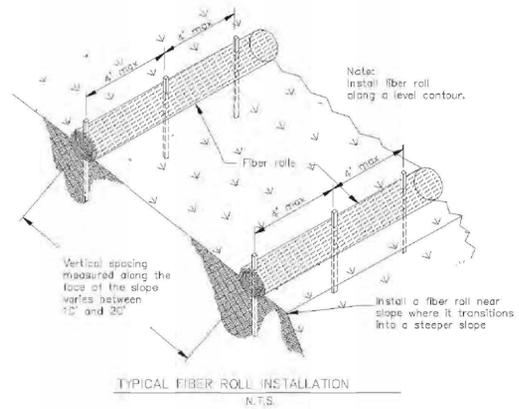
**C-3**

# EROSION CONTROL PLAN



3  
6 CRZ TABLE  
PER PROJECT ARBORIST

5 STOCKPILE PROTECTION  
NOT TO SCALE



NOTES:  
If more than one fiber roll is placed in a row, the rolls must be overlapped, not abutted.  
Turn the ends of the fiber roll up-slope to prevent runoff from going around the roll.

1 FIBER ROLL  
NOT TO SCALE

2 CONSTRUCTION ENTRANCE  
NOT TO SCALE

3 TREE TRUNK PROTECTION  
NOT TO SCALE

4 CONCRETE WASHOUT  
NOT TO SCALE

L. Wade Hammond  
Civil Engineering & Land Surveying  
36660 Newark Blvd. Suite C  
Newark, California 94560  
Tel: (510) 579-6112 wade@wlhammsurveyors.com

SCALE	1" = 10'
DATE	11-13-2019
JOB#	4290
APN	037-118-020

CLAWSON RESIDENCE  
322 CALIFORNIA AVENUE  
MOSS BEACH, CA 94038  
UNINCORPORATED SAN MATEO COUNTY



NUMBER	REVISIONS	DATE
1	REMOVE TREE, HYDRO, EROSION	11-23-2019
2	TREE PROTECTION, ERO. CTRL	5-20-2020
3	PLAN & BLDG. REVIEW	8-6-2020

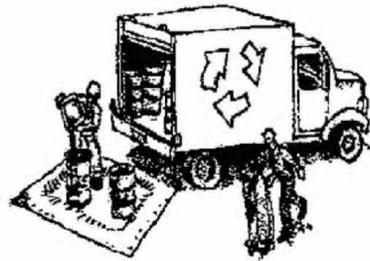
SHEET NUMBER

C-4

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



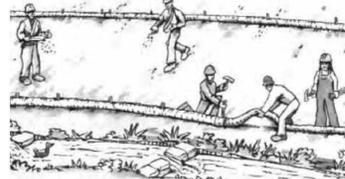
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



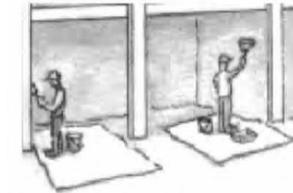
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

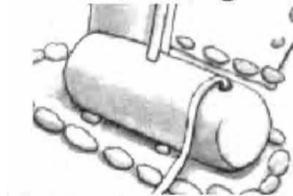
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

SCALE	DATE	JOB#	APN
	11-13-2019	4290	037-118-020

CLAWSON RESIDENCE  
322 CALIFORNIA AVENUE  
MOSS BEACH, CA 94038  
UNINCORPORATED SAN MATEO COUNTY

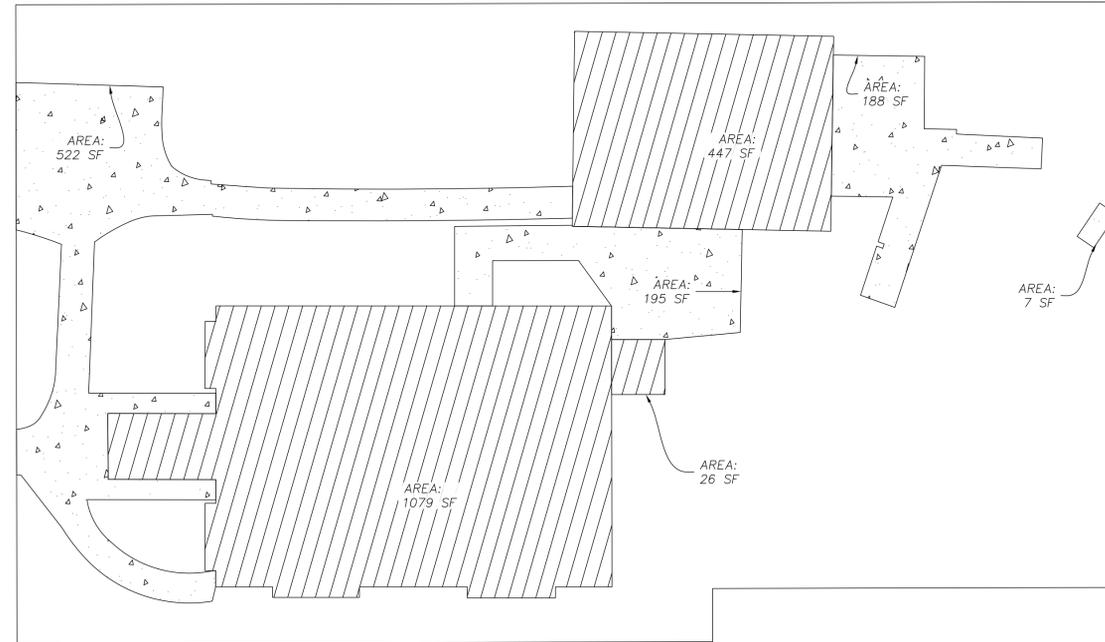
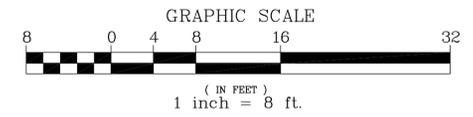


NUMBER	REVISIONS	DATE
1	REMOVE TREE, HYDRO, EROSION	11-23-2019
2	TREE PROTECTION, ERO. CTRL	5-20-2020
3	PLAN & BLDG. REVIEW	8-6-2020

SHEET NUMBER

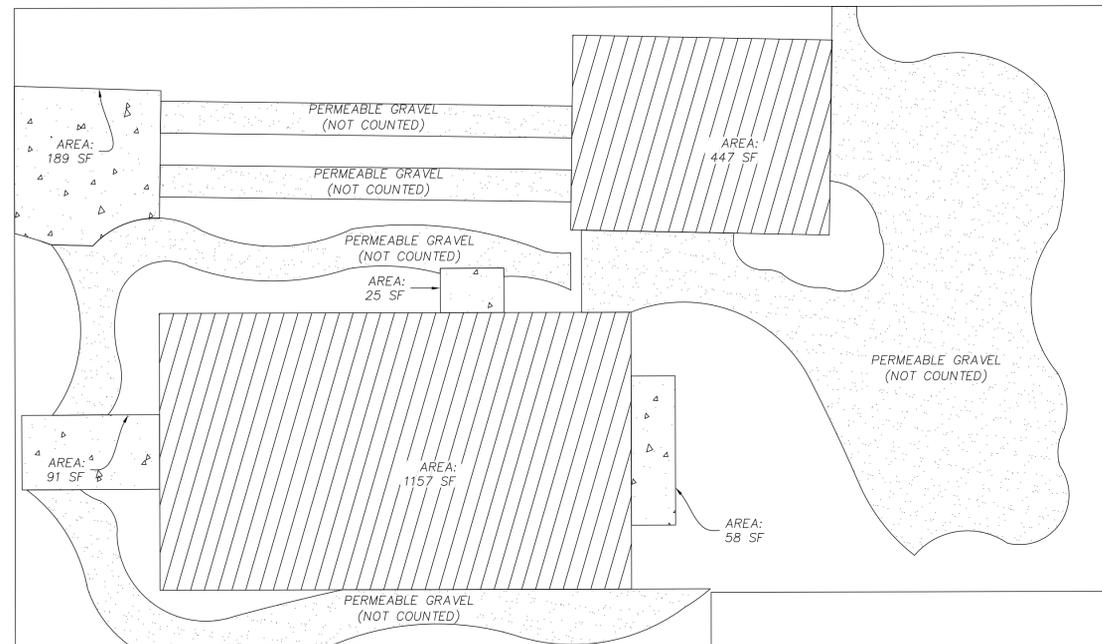
**C-5**

# IMPERVIOUS AREAS EXHIBIT



**PRE-CONSTRUCTION**

IMPERVIOUS SURFACE AREAS	
TOTAL PROPERTY AREA	6,092 FT <sup>2</sup>
IMPERVIOUS AREAS	
PRE-CONSTRUCTION	2,464 FT <sup>2</sup>
POST-CONSTRUCTION	1,967 FT <sup>2</sup>
NET CHANGE	-497 FT <sup>2</sup>



**POST-CONSTRUCTION**

## HATCH LEGEND

-  ROOF/BUILDING
-  PERMEABLE GRAVEL (3/4" CRUSHED DRAIN ROCK)
-  CONCRETE/BRICK

**L. Wade Hammond**  
 Civil Engineering & Land Surveying  
 36660 Newark Blvd. Suite C  
 Newark, California 94560  
 Tel: (510) 579-6112 wade@wilhamdsurveyor.com

SCALE	1" = 8'
DATE	11-13-2019
JOB#	4290
APN	037-118-020

**CLAWSON RESIDENCE**  
**322 CALIFORNIA AVENUE**  
**MOSS BEACH, CA 94038**  
 UNINCORPORATED SAN MATEO COUNTY



NUMBER	REVISIONS	DATE
1	REMOVE TREE, HYDRO, EROSION	11-23-2019
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SHEET NUMBER

**C-6**



**RECOMMENDATIONS**

The following recommendations will ensure that the longterm health and longevity of these trees is retained before, during and after the construction process.

The details are included in the Tree Protection Plan, below.

**Tree A:**

- Prune for adequate clearance above the driveway to prevent damage during access.

- Install a root buffer zone anywhere under the dripline that is not already covered by the driveway.

- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.

- During construction: any large structural roots that require pruning should be done as per the TPP.

**Tree B:**

- Prune for adequate clearance above the existing home, to prevent damage during demolition and construction.

- There are numerous broken and hanging branches present on this tree. These should be removed/reduced to remove the risk of failure prior to construction taking place.

- Install a root buffer zone anywhere under the dripline that is not already covered by the driveway.

- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.

- During construction: any large structural roots that require pruning should be done as per the TPP.

**Tree C:**

- Install a root buffer zone on any bare ground under the dripline.

- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.

- The staging and storage of construction equipment and materials should not take place under the dripline of this tree.

- During construction: any large structural roots that require pruning should be done as per the TPP.

- Pruning should not be required, but if it is, then follow the recommendations within the TPP.

**Tree D:**

- Apply for and obtain a Significant Tree Removal Permit from the County prior to construction. This tree is not a suitable candidate for preservation during the

- Install a root buffer zone anywhere under the dripline that is not already covered by the driveway.

- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.

construction process. This report can be submitted in evidence, alongside your plans.

- The removal of the tree should take place prior to demolition. Pruning Tree A & B at the same time would be sensible and cost-effective.

- The wood chips from the tree removal could be used for the root buffer zone, as per the TPP, for Tree A, B & C. Once the construction work is complete, and the root buffer zone is removed, then the wood chips can be incorporated into your landscaping.

**TREE PROTECTION PLAN**

I recommend the following Tree Protection Plan and best management practices in order to ensure that the requirements of Significant Tree Ordinance of San Mateo County (Part Three of Division VIII), Section 12.020.5 are met.

**Trunk Protection:** Tree A, B, C

Wrap the lower 6 feet of the trunk using either of the following methods:

- (1) A minimum of 4 layers of orange plastic snow fencing, then a layer of 2x4 planks set on end, edge-to-edge and wrapped with a minimum of 4 additional layers of orange plastic snow fencing OR;
- (2) Straw wattles, orange fence and 2x4 boards in concentric layers at a height of eight feet.

**Root Buffer Zone:** Tree A, B, C

In addition to the trunk protection for the trees, the following should be installed, prior to construction on any exposed soil:

- Protect the soil with a temporary layer of material to protect the soil texture and roots, or root buffer.
- The buffer shall consist of a base course of tree chips (use chips from Tree D) spread over the root area to a minimum of 6-inch depth, capped by a base course of 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top.
- The root buffer shall be installed and removed without wheeled equipment touching exposed soil. This may mean some or all of the work is done by hand.
- Existing pavement also works as a root buffer (i.e., the existing driveway).

Clawson Residence - 322 California Ave, Moss Beach

Page 8

**Root Pruning:** all trees, where applicable

If roots are to be cut during construction, then the Project Arborist must be notified to make the final call and provide recommendations.

- All work should be undertaken by hand tools. Roots can be exposed using non-invasive methods such as via air-spades.

- If roots smaller than 4 inches in diameter require cutting, then they should be done only with approval by an arborist.

- Roots should only be cut cleanly with sharp tools: never tear with a backhoe. A clean cut encourages good wound closure and confines the spread of decay.

- Once the roots have been identified, then a temporary root buffer zone should be installed that will cover the root zone during construction work.

- The exposed roots should be covered at the end of each day with a material such as burlap.

- Regular irrigation should be provided in the form of soaker tubes, throughout construction activities.

- Wood chips could also be used to provide a mulch to prevent inadvertent compaction and moisture loss. A 4 - 6 inch depth will suffice.

**Pruning:** Tree A, B (and C if construction dictates clearance is required)

The following measures should be applied to the trees before construction work:

- Any pruning of the canopy for access should be performed by an ISA Certified Arborist.
- Follow ANSI A300 (American National Standards for Tree Care Operations: Tree Shrub, and Other Woody Planting Maintenance: Pruning).

- Tree B: beyond clearance for access, remove broken and damaged branches. There was some visible hanging partially broken branches located in the canopy.

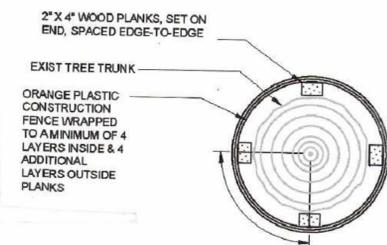
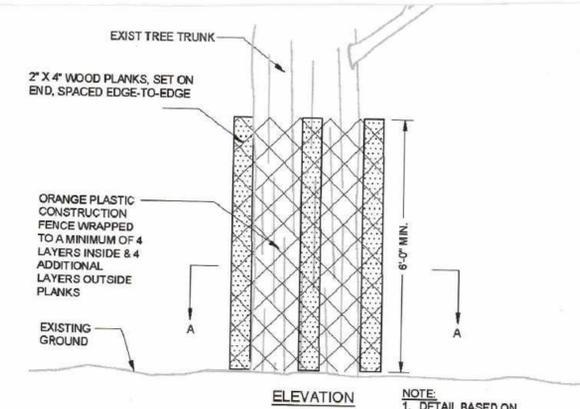
**TREES:**

**EXISTING TREES TO KEEP**

(this is on county property but dripline is affected)

**EXISTING TREES FOR REMOVAL**

Tag #	botanical name	common name	DBH (inches)	quantity
A*	Hesperocyparis macrocarpa	Monterey Cypress	23.5	1
B*	Hesperocyparis macrocarpa	Monterey Cypress	39.5	1
C*	Hesperocyparis macrocarpa	Monterey Cypress	43.5	1
F	Prunus	Plum	6,6 multi	1
G	Prunus	Plum	6,4,4 multi	1
D*	Acacia melanoxylon	Blackwood Acacia	25	1
E*	Salix	Willow	15	1
H	Malus domestica	Apple	6	1
I	Callistemon	Bottle Brush	6,6 multi	1
J	Brugmanisa	Tumpet Vine	6,4 multi	1



**NOTE:**  
1. DETAIL BASED ON RECOMMENDATIONS IN ARBORIST REPORT, BY JAMES GOODRUM DATED APRIL 2020

2. OPTIONAL TRUNK PROTECTION: STRAW WATTLES, ORANGE FENCE AND 2"x4" BOARDS IN CONCENTRIC LAYERS AT A HEIGHT OF EIGHT FEET

**1 TREE TRUNK PROTECTION NOT TO SCALE**

**RECOMMENDATIONS TREE E**

The tree is in fair condition and is located in an inappropriate location for its present and future size.

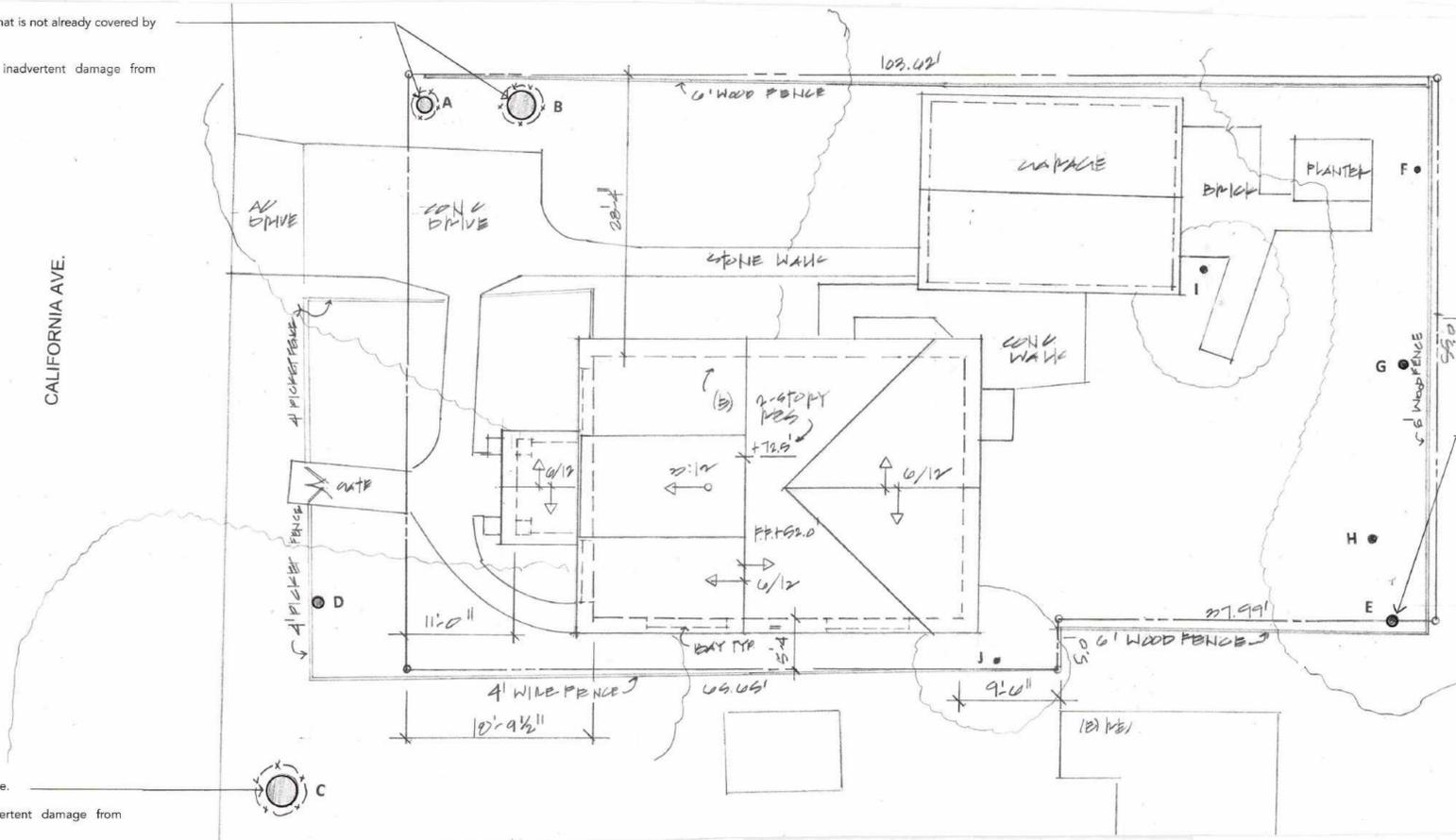
The tree requires consistent pruning to prevent further damage to the shared fence; and because of its past pruning and present condition, any future pruning can only continue to remove new growth. There is no suitable way to directionally prune the tree to avoid further conflict due to the structure of the tree.

Landscaping work in the form of a patio installation will occur under the dripline of this tree. Removal may be warranted after prior approval by the County as the tree is protected under the Significant Tree ordinance.

**TREE PROTECTION PLAN**

SCALE: 1/8"=1'-0"

**NOTE:**  
ALL RECOMMENDATIONS AND TREE PROTECTION MEASURES SHOWN ARE PART OF ARBORIST REPORT AND TREE PROTECTION PLAN DATED APRIL 20, 2020 BY JAMES GOODRUM, CONSULTING ARBORIST



- Install a root buffer zone on any bare ground under the dripline.
- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.

James Goodrum, RCA #654  
ISA Certified Arborist, No. WE-10042A ISA  
Tree Risk Assessment Qualified  
415-490-7316  
www.goodrumfortrees.com

**CLAWSON RESIDENCE**  
NEW RESIDENCE  
322 CALIFORNIA AVE.  
MOSS BEACH, CALIFORNIA



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT D**

November 23, 2020

**CDRC Findings for letter of recommendation for PLN2019-00485:**

Owners: Ruth & Steve Clawson  
Applicant: Robert Medan  
File No.: PLN2019-00485  
Location: 322 California Avenue, Moss Beach  
Assessor's Parcel No.: 037-118-020

Hearing Date: November 12, 2020

**STATUS:** Recommend for approval 2-0 with conditions.

**Description:**

Consideration of a Design Review recommendation for construction of a two-story 2,053 sq. ft. single-family residence to replace an existing 1,842 sq. ft. single-family residence that was significantly damaged by fire in 2015, on a 6,092 sq. ft. legal parcel, associated with a hearing-level Coastal Development Permit (CDP) and NonConforming Use Permit (UP). The proposed non-conforming front porch requires a UP and the project involves minor grading and removal of five trees (two significant and three non-significant). The CDRC will not render a decision, but will make a recommendation regarding the project's compliance with Design Review Standards. A public hearing before the Planning Commission on the CDP, UP, and Design Review Permit, will take place after November 12, 2020. The CDP is not appealable to the California Coastal Commission . Application Deemed Complete on October 2, 2020. Project Planner: Lawrence Truong ([lktruong@smcgov.org](mailto:lktruong@smcgov.org))

**Findings:**

The project complies with the following:

Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT

The owners have stayed true to the history of the fire damaged home, but keeping the placement of the new home in the same location. As such, there is no substantial change to views, relationship to open space or required grading.

Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape and Scale.

The proposed design of the home to replace the fire damaged home has character and details that are reminiscent of the design of the existing home. It speaks to the history that is lost by utilizing the same footprint, proportions, roof massing and details from the original home.

Section 6565.20 (D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors

b. Quality:

The added details such as trim boards, columns, and stone base recreate the

historic style of the existing home, are timeless, and add to the feel of quality

**Conditions:**

1. Add small shed roof over side door on Left (North) elevation, with Architectural brackets to match the roof over the exterior sliding doors at the rear façade.
2. Provide (1) light at side door on Left (North) elevation and no more than (2) lights at rear sliding doors. See recommendation, below.

**Recommendations:**

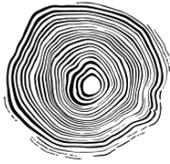
1. Recommend using a roof soffit downlights or suspended lights under roof eaves at rear sliding doors and side door on Left (North) side elevations due to limited wall space for sconces. Dark sky compliant fixtures as required by zoning.
- 2.

END



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT E**



**JAMES  
GOODRUM**  
CONSULTING  
ARBORIST

Arborist Report with Tree Protection Plan - 322 California Avenue,  
Moss Beach

Prepared for:

Ruth Clawson  
322 California Avenue  
Moss Beach  
CA, 94038

April 2020

Prepared by:

James Goodrum, RCA #654

ISA Certified Arborist, No. WE-10042A  
ISA Tree Risk Assessment Qualified

415-490-7316

[www.goodrumfortrees.com](http://www.goodrumfortrees.com)

April 21st, 2020



**JAMES  
GOODRUM**  
CONSULTING  
ARBORIST

Ruth Clawson  
322 California Avenue  
Moss Beach  
CA, 94038

Dear Mrs. Clawson,

**Subject: Arborist Report and Tree Protection Plan**

Below is my Arborist Report with Tree Protection Plan for your property at 322 California Avenue, Moss Beach, from the site visit on April 14, 2020.

Your planned construction work takes place within the root zone of a number of significant trees as defined by the County of San Mateo's Significant Tree Ordinance.

This report assesses the impacts this work will have on the survival and longevity of these trees, and provides special measures for their protection during construction.

Please do not hesitate if I can be of further assistance on this matter.

Sincerely,

James Goodrum, RCA #654

ISA Certified Arborist, No. WE-10042A  
ISA Tree Risk Assessment Qualified

415-490-7316

[www.goodrumfortrees.com](http://www.goodrumfortrees.com)

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## **SUMMARY**

Seeking to rebuild and renovate an existing house at her property within the County of San Mateo, California, Mrs. Ruth Clawson contracted me to provide an arborist report and tree protection plan.

There are four (4) Significant Trees on the property that could be impacted by construction related activities.

All of these trees have been numbered and detailed as per County requirements. Special measures in the form of a Tree Protection Plan have been laid out to ensure the survival and longevity of these trees, where appropriate.

## **INTRODUCTION**

### **Background**

On April 8, 2020, Mrs. Ruth Clawson contacted me regarding a project at 322 California Avenue, Moss Beach, CA 94038. Mrs. Clawson is seeking to rebuild an existing house on the lot.

Mrs. Clawson's property is within Unincorporated San Mateo County. The County of San Mateo's Planning and Building Department requires that property owners comply with the Significant Tree Ordinance of San Mateo County (Part Three of Division VIII) (1) when undertaking work in and around significant or heritage trees.

Specifically, Section 12, 012 addresses Significant Trees, whilst Heritage Trees are defined in Section 11.050.

In addition to this; "All proposals for development (Building or Planning Permit) on sites where proposed construction has the potential to impact a significant tree shall submit a tree protection plan, for review and approval, prior to the issuance of a Building or Planning permit" (Section 12, 020.5).

After reviewing the situation and discussing my terms of employment, I agreed to examine the trees and the site.

### **Assignment**

During my April 8, 2020, discussion with Mrs. Clawson, I agreed to provide the following services:

- Assess the property for any Significant or Heritage Tree as per the County of San Mateo's Significant Tree Ordinance.

- Produce a Tree Protection Plan for construction work that has the potential to impact any Significant or Heritage Trees.
- List the tree number, species, common name, size and condition of each tree.
- Provide general advice on any other large trees on his property that may require management.

### **Limits of the Assignment**

The recommendations and conclusions provided in this report are based on visual observations only. No soil or plant tissue samples were taken and submitted for laboratory testing. In addition, the observations were limited to those attainable from the ground only; no climbing or aerial observations were performed.

## **OBSERVATIONS**

### **Site Visit**

On April 14, 2020, I visited 322 California Avenue to evaluate the existing trees.

### **Site Location and Condition**

322 California Avenue resides within Moss Beach, an area of Unincorporated San Mateo County, California. The property is located on the West side of Highway 1, close to Fitzgerald Marine Reserve.

The property consists of an existing single-family home, which has been subjected to fire damage. The site is level and contains a number of mature and semi-mature native and non-native trees, as well as numerous native local plants that have taken the opportunity to colonize the site due to a lack of human interference and disturbance.

### **Tree Evaluation**

All trees within the property were evaluated on the basis of species, size, condition, location and classification as a Significant and/or Heritage Tree (1).

I measured the trees using diameter tape to ascertain the **diameter at breast height (dbh)**. Each tree was visually evaluated and digital photographs were taken for further evaluation and references. I made full use of the lot to aide in my evaluation.

I assigned a condition rating to each tree based on the Guide for Plant Appraisal, 10th Edition (CTLA, 2018). Each tree is assigned a condition percentage which considers health, structure, and form (see Appendix C).

**DISCUSSION**

A critical step in protecting healthy trees during construction and development is the protection of tree roots from disturbance. Each tree has a **critical root zone (CRZ)** that varies by species and site conditions.

The **International Society of Arboriculture (ISA)** defines CRZ as an area equal to 1-foot radius from the base of the tree’s trunk for each 1 inch of the tree’s diameter at 4.5 feet above grade (also known as dbh).

See Table 1 (below) for an example of these calculations.

**Table 1** - Critical root zone radius distances calculated by tree diameter at breast height (ISA)

Tree Diameter	CRZ Radius	Total Protection Zone Diameter, including trunk
2 inches	2 feet	4+ feet
6 inches	6 feet	13.5 feet
20 inches	20 feet	42 feet
46 inches	46 feet	96 feet

I chose to assign this CRZ as a way of assessing if there would be any impacts on these trees by the construction work, as required by the County’s Significant Tree Ordinance.

The CRZ is likely to contain large, structural roots. Cutting or disturbing a large percentage of a tree’s roots increases the likelihood of the tree’s failure or death. Most trees roots over four inches in diameter are likely to be structural roots; cutting these roots may impact the structural stability of the tree (Matheny & Clark, 1998).

If work takes place within the CRZ, then special measures are required to ensure the longevity and survival of these trees. This is detailed in the Tree Protection Plan (pages 8 - 10).

Table 2 (below) shows the trees that were assessed on site, with a CRZ that has construction work within it. All are classified as Significant Trees (1).

**Table 2** - Trees with a CRZ that will be impacted by construction work

Tag #	Common Name	DBH (Inches)	CRZ Radius (Feet)	Condition Rating % (see Appendix C)	Work within dripline?	Notes (where applicable)
A	Monterey Cypress ( <i>Hesperocyparis macrocarpa</i> )	23.5	23.5	62	Yes	<b>Cavity with decay;</b> heavily side pruned for High Voltage (HV) lines; under canopy of Tree B; canopy 5.5' above driveway.
B	M. Cypress ( <i>H. macrocarpa</i> )	39.5	39.5	62	Yes	Large tree; canopy spans over existing property; numerous dead/broken branches
C	M. Cypress ( <i>H. macrocarpa</i> )	43.5	43.5	67	Yes	County tree; under HV lines; 'V' pruned for access. 9' from property line.
D	Blackwood acacia ( <i>Acacia melanoxylon</i> )	25	25	52	Yes	Previously highlighted for removal; touching roof line of existing property.

The condition rating of the three cypress trees (Trees A, B and C) are all within the fair to good range. All three obtained those rating percentages in different ways, with differing levels of rating for health, structure and form (see Appendix C).

For example, Tree A, has a single, straight trunk which contains an old trunk removal scar at two feet above the ground, which is now a cavity containing decay. It is also suppressed by Tree B, due to growing within its canopy and has a deformed and misshapen canopy of its own, due to heavy side pruning for High Voltage utility line clearance.

Tree B is a large, dominant specimen but is showing signs of a lack of fullness and vigor to the canopy. The foliage is somewhat sparse and lacks the visible good health of some other neighboring cypress trees on the same road. Again, the tree is pruned for utility line clearance and the canopy in general shows numerous examples of dieback, defoliation and discoloration. In terms of structure, the single trunk gives way at around 20 feet to a collection of multiple branches all emanating from the same points of attachment. Some of these have wide, Y-shaped crotches, others have tight, V-shaped unions.

Tree C is a County-owned tree and is directly under the utility lines. It has been regular V-pruned to account for directional growth around these lines. The single trunk develops into a mass of **codominant**, competing stems due to this historical pruning method, yet the canopy retains good vigor, density and color, indicating good health.

Tree D, the Blackwood acacia, presents as the poorest tree in terms of overall condition. The tree previously had a codominant two stem structure, one having been removed whilst the trunk was large. The resulting form of the tree has twisted and has developed away from the shading dominance of Tree C, to the extent it is now touching the property itself.

The tree shows numerous areas of branch dieback and pruning scars. It also bears the signs of fire/smoke damage in the form of blackened bark, and extensive canopy dieback. Due to the proximity and the likely clearances required in the new construction, it would be difficult to preserve this tree and is not a good candidate to attempt to do so in the first instance.

## **CONCLUSION**

In total, there are four Significant trees that are included in this report. Work will take place within the CRZ of all four of these trees. The driplines of all four trees, to some extent, extends over the lot and the work zone.

The impacts the work will have on each of these trees is different, and is explored below. The construction work has the potential to impact the trees in the following ways:

### Tree A & B:

Both trees are situated to the left of the existing concrete/brick driveway at the property line, and are within three feet of it. This driveway provides a natural root buffer zone in the form of existing hardscaping.

The driveway could provide a natural staging and storage area for materials but care must be taken to ensure there is no inadvertent damage to the trunks when doing so. The bare ground between the driveway and the trees could also result in damage from compaction when using this area.

As both the CRZ and dripline of each tree extends past the driveway, structural roots may be encountered if excavating in areas of bare ground. If found, these are likely to be the other side of the driveway and therefore some 15 plus foot away from the trees. Due to this, pruning and shaving, if necessary, could be achieved without unduly harming the trees, if performed correctly. See the Tree Protection Plan (TPP) for further information.

The canopy of Tree A sits approximately six feet above the driveway, and could be struck during the construction process. Tree B's canopy is well above that and is not in danger of being touched whilst the driveway is being used. However, it does extend to the roofline of the existing home and there could be conflicts there during demolition and construction, particularly during installation of scaffolding.

#### Tree C:

This is on County property as it is situated on California Avenue. It is nine feet from the property line of 322 California Avenue. Storing construction materials in and around the tree could cause damage through inadvertently striking the tree. This would also cause compaction of the root zone under the dripline. Compaction could occur both inside and outside of the property line; the CRZ extends well into the lot.

The canopy of the tree extends approximately 12 feet into the lot, and appears to be high enough off of the ground that it would not be impacted during demolition and construction. However, any excavation within this area could encounter structural roots and these should be dealt with according to the TPP.

#### Tree D:

If this tree were to remain, then due to its close proximity to the existing and planned house, then it is likely that structural roots will be encountered during excavation work.

Further, due to the shape and form of the tree, clearance will be required during construction that would result in the tree being excessively and inappropriately pruned to achieve this clearance. Due to its structure, the only way to perform this clearance would be to make **heading** cuts.

The tree is in poor to fair health and would not be an ideal candidate to attempt to preserve. The likely stress caused by the necessary pruning for access, in addition to the likely large percentage root system loss from the construction work and its present condition, render this tree a suitable removal candidate.

## **RECOMMENDATIONS**

The following recommendations will ensure that the longterm health and longevity of these trees is retained before, during and after the construction process.

The details are included in the Tree Protection Plan, below.

#### Tree A:

- Prune for adequate clearance above the driveway to prevent damage during access.

- Install a root buffer zone anywhere under the dripline that is not already covered by the driveway.
- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.
- During construction: any large structural roots that require pruning should be done as per the TPP.

#### Tree B:

- Prune for adequate clearance above the existing home, to prevent damage during demolition and construction.
  - There are numerous broken and hanging branches present on this tree. These should be removed/reduced to remove the risk of failure prior to construction taking place.
- Install a root buffer zone anywhere under the dripline that is not already covered by the driveway.
- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.
- During construction: any large structural roots that require pruning should be done as per the TPP.

#### Tree C:

- Install a root buffer zone on any bare ground under the dripline.
- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.
- The staging and storage of construction equipment and materials should not take place under the dripline of this tree.
- During construction: any large structural roots that require pruning should be done as per the TPP.
- Pruning should not be required, but if it is, then follow the recommendations within the TPP.

#### Tree D:

- Apply for and obtain a Significant Tree Removal Permit from the County prior to construction. This tree is not a suitable candidate for preservation during the

construction process. This report can be submitted in evidence, alongside your plans.

- The removal of the tree should take place prior to demolition. Pruning Tree A & B at the same time would be sensible and cost-effective.
- The wood chips from the tree removal could be used for the root buffer zone, as per the TPP, for Tree A, B & C. Once the construction work is complete, and the root buffer zone is removed, then the wood chips can be incorporated into your landscaping.

**TREE PROTECTION PLAN**

I recommend the following Tree Protection Plan and best management practices in order to ensure that the requirements of Significant Tree Ordinance of San Mateo County (Part Three of Division VIII), Section 12, 020.5 are met.

**Trunk Protection:** Tree A, B, C

Wrap the lower 6 feet of the trunk using either of the following methods:

(1) A minimum of 4 layers of orange plastic snow fencing, then a layer of 2x4 planks set on end, edge-to-edge and wrapped with a minimum of 4 additional layers of orange plastic snow fencing OR;

(2) Straw wattles, orange fence and 2x4 boards in concentric layers at a height of eight feet.

**Root Buffer Zone:** Tree A, B, C

In addition to the trunk protection for the trees, the following should be installed, prior to construction on any exposed soil:

- Protect the soil with a temporary layer of material to protect the soil texture and roots, or root buffer.
- The buffer shall consist of a base course of tree chips (use chips from Tree D) spread over the root area to a minimum of 6-inch depth, capped by a base course of 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top.
- The root buffer shall be installed and removed without wheeled equipment touching exposed soil. This may mean some or all of the work is done by hand.
- Existing pavement also works as a root buffer (i.e., the existing driveway).

**Root Pruning:** all trees, where applicable

If roots are to be cut during construction, then the Project Arborist must be notified to make the final call and provide recommendations.

- All work should be undertaken by hand tools. Roots can be exposed using non-invasive methods such as via air-spades.
- If roots smaller than 4 inches in diameter require cutting, then they should be done only with approval by an arborist.
- Roots should only be cut cleanly with sharp tools: never tear with a backhoe. A clean cut encourages good wound closure and confines the spread of decay.
- Once the roots have been identified, then a temporary root buffer zone should be installed that will cover the root zone during construction work.
  - The exposed roots should be covered at the end of each day with a material such as burlap.
  - Regular irrigation should be provided in the form of soaker tubes, throughout construction activities.
  - Wood chips could also be used to provide a mulch to prevent inadvertent compaction and moisture loss. A 4 - 6 inch depth will suffice.

**Pruning:** Tree A, B (and C if construction dictates clearance is required)

The following measures should be applied to the trees before construction work:

- Any pruning of the canopy for access should be performed by an ISA Certified Arborist.
- Follow ANSI A300 (American National Standards for Tree Care Operations: Tree Shrub, and Other Woody Planting Maintenance: Pruning).
- Tree B: beyond clearance for access, remove broken and damaged branches. There was some visible hanging partially broken branches located in the canopy.

Mrs. Clawson will also need to ensure:

- That her General Contractor takes responsibility in contacting the Project Arborist in a timely manner prior to construction commencing to ensure that the tree protection has been installed adequately.
- The General Contractor is responsible for contacting the Project Arborist ahead of any work that may take place within the drip line of protected trees.
- The General Contractor is responsible for the good condition of all Significant/Heritage Trees named in this report, whether or not tree protection is specified.
- The County Arborist shall be notified when/if damage occurs to any Heritage Tree.

## GLOSSARY

**Cavity** - open or closed hollow within a tree stem, usually associated with decay.

**Codominant Branch/Stem** - forked branches nearly the same size in diameter, arising from a common junction and lacking a normal branch union.

**Critical Root Zone (CRZ)** - area of soil around a tree where the minimum amount of roots considered critical to the structural stability or health of the tree are located. CRZ determination is sometimes based on the drip line or a multiple of dbh, but because root growth is often asymmetric due to site conditions, on-site investigation is preferred.

**Decay** - (1) (noun) an area of wood that is undergoing decomposition. (2) (verb) decomposition of organic tissues by fungi or bacteria.

**Diameter at Breast Height (dbh)** - tree diameter at breast height. Measured at 1.4 meters (4.5 feet) above ground in the United States.

**Heading** - cutting a shoot back to a bud or cutting branches back to buds, stubs, or lateral branches not large enough to assume apical dominance. Cutting an older branch or stem back to a stub in order to meet a structural objective.

**ISA Certified Arborist** - an arborist who has passed an independent exam administered by the International Society of Arboriculture, and maintains the credential through continuing education.

## BIBLIOGRAPHY

1 [https://planning.smcgov.org/sites/planning.smcgov.org/files/documents/files/Mjsaa0475\(att%20b1\\_Trees\)\\_POST%20BOS%20of%2010-18-16\)%20wpq.pdf](https://planning.smcgov.org/sites/planning.smcgov.org/files/documents/files/Mjsaa0475(att%20b1_Trees)_POST%20BOS%20of%2010-18-16)%20wpq.pdf)

**CTLA, 2018.** Council of Tree & Landscape Appraisers. *Guide for Plant Appraisal, 10th Edition*. International Society of Arboriculture. Champaign, Illinois

**Matheny, N., and J.R. Clark. 1998.** *A Technical Guide to Preservation of Trees During Land Development*. Champaign, IL: International Society of Arboriculture.

<http://www.isa-arbor.com/education/onlineresources/dictionary.aspx>



**APPENDIX B - PHOTOGRAPHS**



Photo 1 - view from California Avenue looking at the existing house, with Tree A & B to the North.



Photo 2 - from the same spot as Photo 1; Tree C & D.

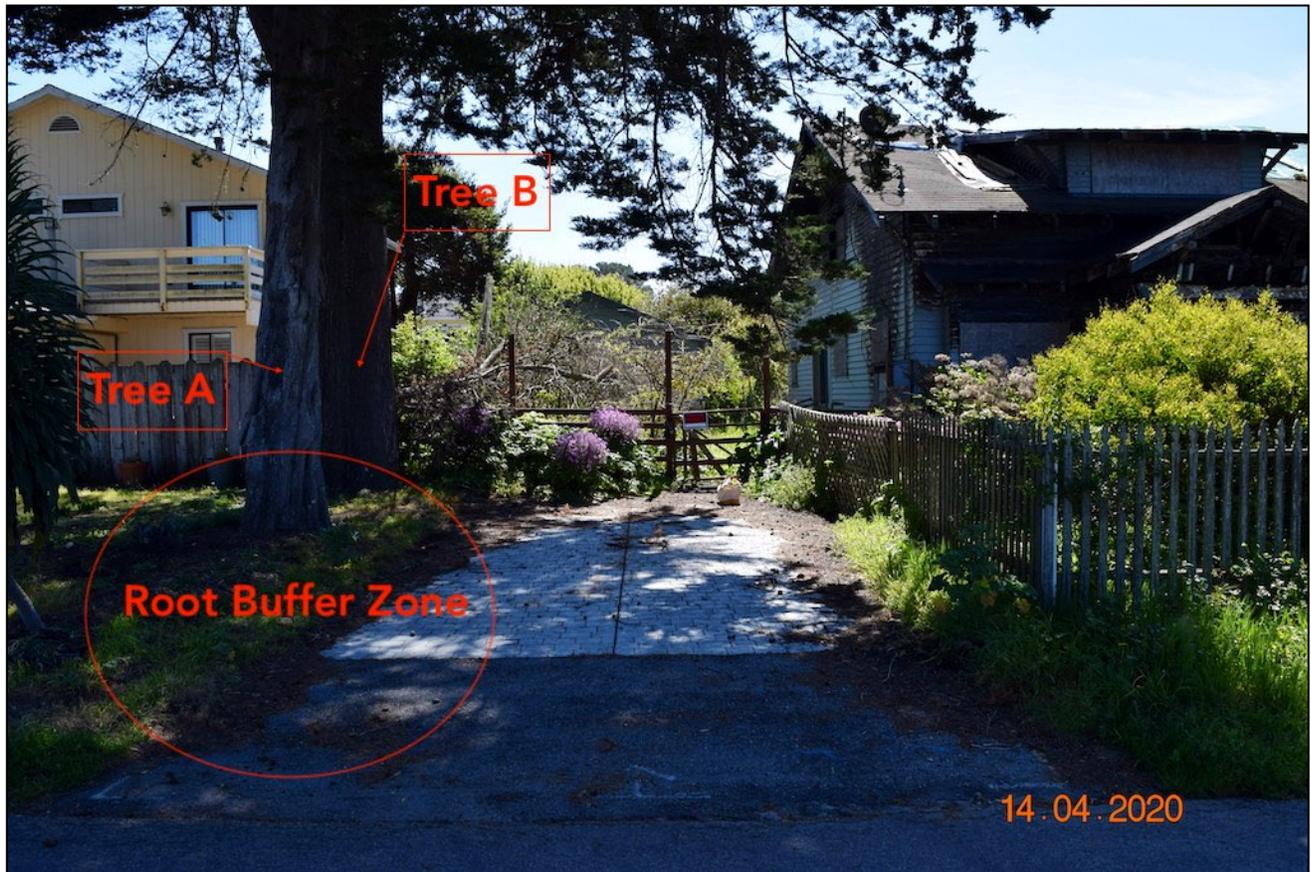


Photo 3 - a closer view of the existing driveway and with Tree A & B.

The root buffer zone indicates the approximate area of bare ground that should be protected before construction commences. This would protect the CRZ of both trees. Refer to the TPP (pages 8-11) for the standards of the root buffer zone. The existing driveway acts as root protection outside of this.

Note the low canopy of Tree A above the driveway; this should be pruned prior to work commencing to allow for access. Above and behind that is the canopy from Tree B stretching towards the existing house.

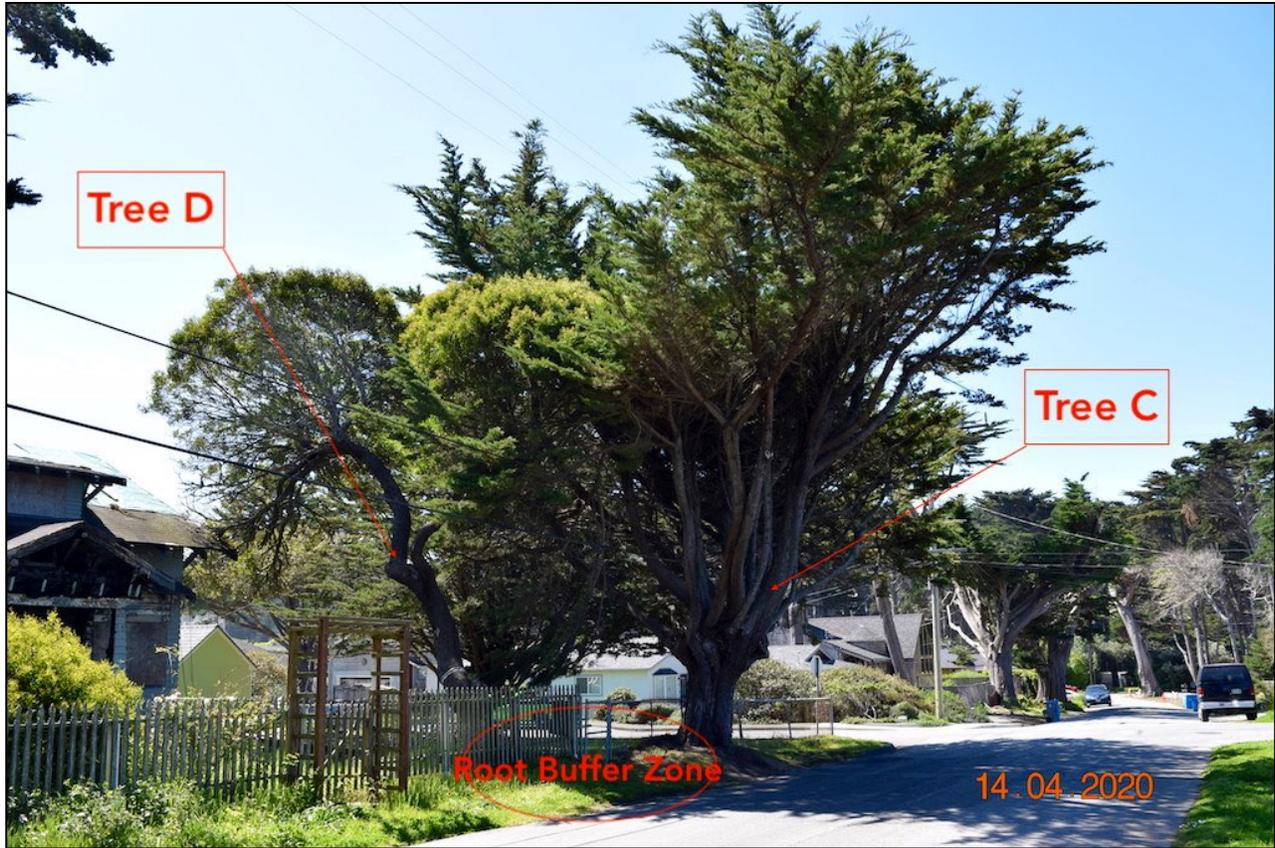


Photo 4 - Tree C & D; the root buffer zone for Tree C is highlighted. This is on County property and no construction-related materials or equipment should be staged or stored under the dripline of this tree.

**APPENDIX C - CONDITION RATING SYSTEM**

44 *Guide for Plant Appraisal, 10th Edition*

**Table 4.1** Assessment of plant condition considers health, structure, and form. Each may be described in rating categories that can be translated into a percent rating.

Rating category	Condition components			Percent rating
	Health	Structure	Form	
<b>Excellent</b>	High vigor and nearly perfect health with little or no twig dieback, discoloration, or defoliation.	Nearly ideal and free of defects.	Nearly ideal for the species. Generally symmetric. Consistent with the intended use.	91-100%
<b>Good</b>	Vigor is normal for the species. No significant damage due to diseases or pests. Any twig dieback, defoliation, or discoloration is minor.	Well-developed structure. Defects are minor and can be corrected.	Minor asymmetries/deviations from species norm. Mostly consistent with the intended use. Function and aesthetics are not compromised.	61% to 80%
<b>Fair</b>	Reduced vigor. Damage due to insects or diseases may be significant and associated with defoliation but is not likely to be fatal. Twig dieback, defoliation, discoloration, and/or dead branches may comprise up to 50% of the crown.	A single defect of a significant nature or multiple moderate defects. Defects are not practical to correct or would require multiple treatments over several years.	Major asymmetries/deviations from species norm and/or intended use. Function and/or aesthetics are compromised.	41% to 60%
<b>Poor</b>	Unhealthy and declining in appearance. Poor vigor. Low foliage density and poor foliage color are present. Potentially fatal pest infestation. Extensive twig and/or branch dieback.	A single serious defect or multiple significant defects. Recent change in tree orientation. Observed structural problems cannot be corrected. Failure may occur at any time.	Largely asymmetric/abnormal. Detracts from intended use and/or aesthetics to a significant degree.	21% to 40%
<b>Very poor</b>	Poor vigor. Appears to be dying and in the last stages of life. Little live foliage.	Single or multiple severe defects. Failure is probable or imminent.	Visually unappealing. Provides little or no function in the landscape.	6% to 20%
<b>Dead</b>				0% to 5%

## **APPENDIX D - ASSUMPTIONS AND LIMITING CONDITIONS**

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or to attend meetings, hearings, conferences, mediations, arbitrations, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation R. T. Arborist as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only the examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.

**APPENDIX E - CERTIFICATION OF PERFORMANCE**

I, JAMES GOODRUM Consulting Arborist certify that:

- I have personally inspected the trees and the property referred to in this report and have stated my findings accurately. The extent of the evaluation is stated in the attached report and the Limits of the Assignment.
- I have no current or prospective interest in the trees or the property that are the subject of this report and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions, and conclusions stated herein are my own and are based on current scientific procedures and facts.
- My analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices.
- No one provided significant professional assistance to me, except as indicated within the report.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.
- I further certify that I am a Registered Consulting Arborist (RCA #654) in good standing of the American Society of Consulting Arborists, and the International Society of Arboriculture. I have been involved in the field of Arboriculture in a full-time capacity for over 15 years.
- Signed: 
- Dated: 21 April 2020



May 21, 2020

Ruth Clawson  
322 California Avenue  
Moss Beach  
CA, 94038

Dear Mrs. Clawson,

**Re: Arborist Report with Tree Protection Plan - 322 California Ave., Moss Beach**

This letter report is intended as an attachment to my original report dated April 21, 2020. This adds one further tree which is classified as a Significant Tree under County of San Mateo's Significant Tree Ordinance <sup>(1)</sup> which was missed at the time of first site visit to 322 California Avenue on April 14, 2020.

Please refer to that original report for information pertaining to the background, assignment, glossary, site location and conditions. This attachment will focus solely on this additional tree and is intended to be submitted in conjunction with the original report.

Aside from the tree below, a number of other trees were discovered at the time of both site visits, all within the rear of the lot. None of these trees were larger than 38 inches circumference at 4<sup>1/2</sup> feet above the ground, as per the classification requirements.

Any required pruning of these trees during your project should still follow ANSI A300 (American National Standards for Tree Care Operations: Tree Shrub, and Other Woody Planting Maintenance: Pruning).

Furthermore, please be cognizant of the nesting bird season which generally runs until September 1 <sup>(2)</sup>, in scheduling and organizing any pruning and/or removals, if at all possible. Any work during this time should factor in a pre-work survey by a ISA Certified Arborist or Qualified Biologist.

(1) [https://planning.smcgov.org/sites/planning.smcgov.org/files/documents/files/Mjsaa0475\(att%20b1\\_Trees\)\\_POST%20BOS%20of%2010-18-16\)%20wpq.pdf](https://planning.smcgov.org/sites/planning.smcgov.org/files/documents/files/Mjsaa0475(att%20b1_Trees)_POST%20BOS%20of%2010-18-16)%20wpq.pdf)

(2) <https://goldengateaudubon.org/conservation/make-the-city-safe-for-wildlife/tree-care-and-bird-safety/planning-your-tree-project/>

## OBSERVATIONS

### Site Visit

On May 19, 2020, I visited 322 California Avenue to evaluate and incorporate any Significant Trees that were not included in the original report.

### Tree Evaluation

All trees within the property were evaluated on the basis of species, size, condition, location and classification as a Significant and/or Heritage Tree (1).

I measured the trees using diameter tape to ascertain the diameter at breast height (dbh). Each tree was visually evaluated and digital photographs were taken for further evaluation and references. I made full use of the lot to aide in my evaluation.

I assigned a condition rating to each tree based on the Guide for Plant Appraisal, 10th Edition (CTLA, 2018). Each tree is assigned a condition percentage which considers health, structure, and form (see Appendix C, original report).

One further tree was found. See site map below for location. The tree is tag # E to follow-on from the four other trees from the first site visit.

Tag #	Common Name	DBH (Inches)	CRZ Radius (Feet)	Condition Rating % (see Appendix C)	Work within dripline?	Notes (where applicable)
E	Willow ( <i>Salix</i> sp.)	15	15	55	Yes	Large heading cuts on South side showing cavities & decay. Tree has been topped to maintain size.

The tree is approximately 25 feet tall and is smothered with numerous climbing vines and other native plants such as *Rosa californica*. The tree is located on the

property line with the neighbor to the West, and to the empty lot behind No. 322, which is to the South. The tree has buckled the shared fence.

The tree has been previously topped at around 12 feet above the ground. Additionally, large removal cuts can be seen from the South. These removals have left cavities with decay.

Numerous neat, ordered holes can be found throughout the tree up and down the main trunk, consistent with behavior from woodpeckers such as the Yellow-Bellied Sapsucker (*Sphyrapicus varius*).

The tree is in fair condition overall; the shape, size and form have been heavily influenced by pruning over the years that have attempted to contain the growth of the tree. This has caused a one-sided canopy and areas of decline and decay from inappropriate pruning techniques.

## **RECOMMENDATIONS**

The tree is in fair condition and is located in an inappropriate location for its present and future size.

The tree requires consistent pruning to prevent further damage to the shared fence; and because of its past pruning and present condition, any future pruning can only continue to remove new growth. There is no suitable way to directionally prune the tree to avoid further conflict due to the structure of the tree.

Landscaping work in the form of a patio installation will occur under the dripline of this tree. Removal may be warranted after prior approval by the County as the tree is protected under the Significant Tree ordinance.



## APPENDIX B - PHOTOGRAPHS



Photo 1 - the Willow, as viewed from the empty lot to the South of 322 California Avenue.



Photo 2 - the main trunk of the tree; the main trunk has been regularly headed-back to contain the size. This has resulted in multiple regrowth branches that have also been topped or left to compete and are poorly attached.

Suckers emanate from dormant buds under the bark due, most likely due to the stress of heavy pruning. This now results in regular pruning to prevent these impeding the neighbor's property.



Sincerely,

A handwritten signature in blue ink that reads "James Goodrum".

James Goodrum, RCA #654

ISA Certified Arborist, No. WE-10042A  
ISA Tree Risk Assessment Qualified

415-490-7316

[www.goodrumfortrees.com](http://www.goodrumfortrees.com)