

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** October 13, 2021

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of a Design Review, Non-Conforming Use Permit, Use Permit, and Fence Height Exception, for an addition of a 962 square foot three-car attached garage, and 1,299 square foot first and second story addition, to an existing 2,432 sq. ft., non-conforming, single-family residence with a 9-foot 1-inch front yard setback on a 21,728 square foot parcel at 180 Lakeview Way in the Emerald Lake Hills area of unincorporated San Mateo County. Three significant trees are proposed for removal. A Non-Conforming Use Permit is required to allow a major addition to a non-conforming house; a Use Permit is required to allow three detached accessory buildings where one is the maximum, and a 1-foot right-side setback, where 3 feet is the minimum; and a Fence Height Exception is required to maintain the existing 6-foot-tall fence in the front yard.

County File Number: PLN 2020-00402 (Fang)

**PROPOSAL**

The applicant proposes to construct a 1,299 square foot first and second story addition and a new three car attached garage and deck to a non-conforming house. The existing house is built at 9 feet 1-inch front setback, where 20 feet is required in RH/DR district. Due to the non-conforming front setback and the scope of the major addition, the house requires a Non-Conforming Use Permit. Currently, the property has a legal, 546 square foot detached garage/ workshop (shed 1) approved with planning permit, PLN 2000-00607, located in the rear of the property and two other detached structures in the rear and side yard, which includes a 149 sq. ft. household storage shed (shed 2) shown in the accessor's report from 1952, and a 40 square foot shed (shed 3) used for storing gardening tools and supplies. There is a fourth detached structure, a doghouse, that will be removed by the applicant before building permit final. The project requires a separate a Use Permit application to allow three detached accessory structures, where only one is allowed. Out of these, shed 2 is built with a 1-foot side setback, where the minimum required setback is 3 feet. The existing front property fence is 6 feet tall, whereas a 4-foot-high fence is allowed in the front setback. Therefore, the applicant also seeks a Fence Height Exception to retain the existing 6-foot-tall fence. Under a separate ministerial permit that is not subject to review by the Planning Commission, the applicant also proposes a detached Accessory Dwelling Unit (BLD 2021-00533).

## **RECOMMENDATION**

That the Planning Commission approve the Design Review Permit, Non-Conforming Use Permit, Use Permit, and Fence Height Exception for County File Number PLN 2020-00402, based on and subject to the required findings and conditions of approval listed in Attachment A.

## **BACKGROUND**

### Conformance with Zoning Regulations:

The proposed addition to the existing residence complies with the development standards of the RH Zoning District. Other existing developments on the site do not comply with fence and accessory structures requirements of the zoning regulations, as discussed further in this report.

### Conformance with Design Review District Guidelines:

The project was heard on August 10, 2021, at the Emerald Lake Hills Design Review meeting. At the design review meeting the Design Review Officer (DRO) heard the proposal and suggested to make color and material changes to tie the project more consistently with the existing house. Conditions 5 and 6, in Attachment A of the staff report are added to address this requirement.

### Compliance with Non-Conforming Use Permit:

The existing house is non-conforming with respect to the front setback which can only be rectified by acquiring land within the public right-of-way, which would further narrow this section of Lakeview Way. The proposed addition complies with the development standards of the RH zoning district which regulate proportional development, such as floor area and lot coverage. Therefore, the proposed development is proportional in size to this parcel.

### Compliance with Use Permit:

Section 6410 of the Zoning Regulations limits detached buildings to one, excluding a detached building providing required parking. The applicant requests to retain the detached garage/ workshop (shed 1) as it provides parking in excess of the County's parking requirements and is used as gym and workshop. This structure was approved through a previous planning application, PLN 2000-00607. The applicant also requests to retain shed 2 as it is used to store household items and kids' toys. This structure is built with a 1-foot side setback, whereas the minimum required side setback is 3-feet. While the applicant proposes to legalize a 3rd shed at the property, Staff supports retaining only two detached buildings at the property to maintain closer compliance with Section 6410. There is a fourth detached structure, a doghouse, that will be removed by the applicant before Building Permit final.

Fence Height Exception:

There is an existing 6-foot-tall fence in the front yard, whereas only a 4-foot fence is allowed in the front setback. The existing street has a predominantly 6-foot-tall fence along Lakeview Way. The current fence is a wood fence with stucco posts and would be compatible with the design of the residence, as proposed and conditioned, and other fences in the neighborhood. This fence is hidden behind bushes and steps down the slope which further breaks the apparent visual mass of the fence. Therefore, recommends approval of the requested fence height exception.

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the Planning Commission, the applicant also proposes a detached Accessory Dwelling Unit (BLD 2021-00533).

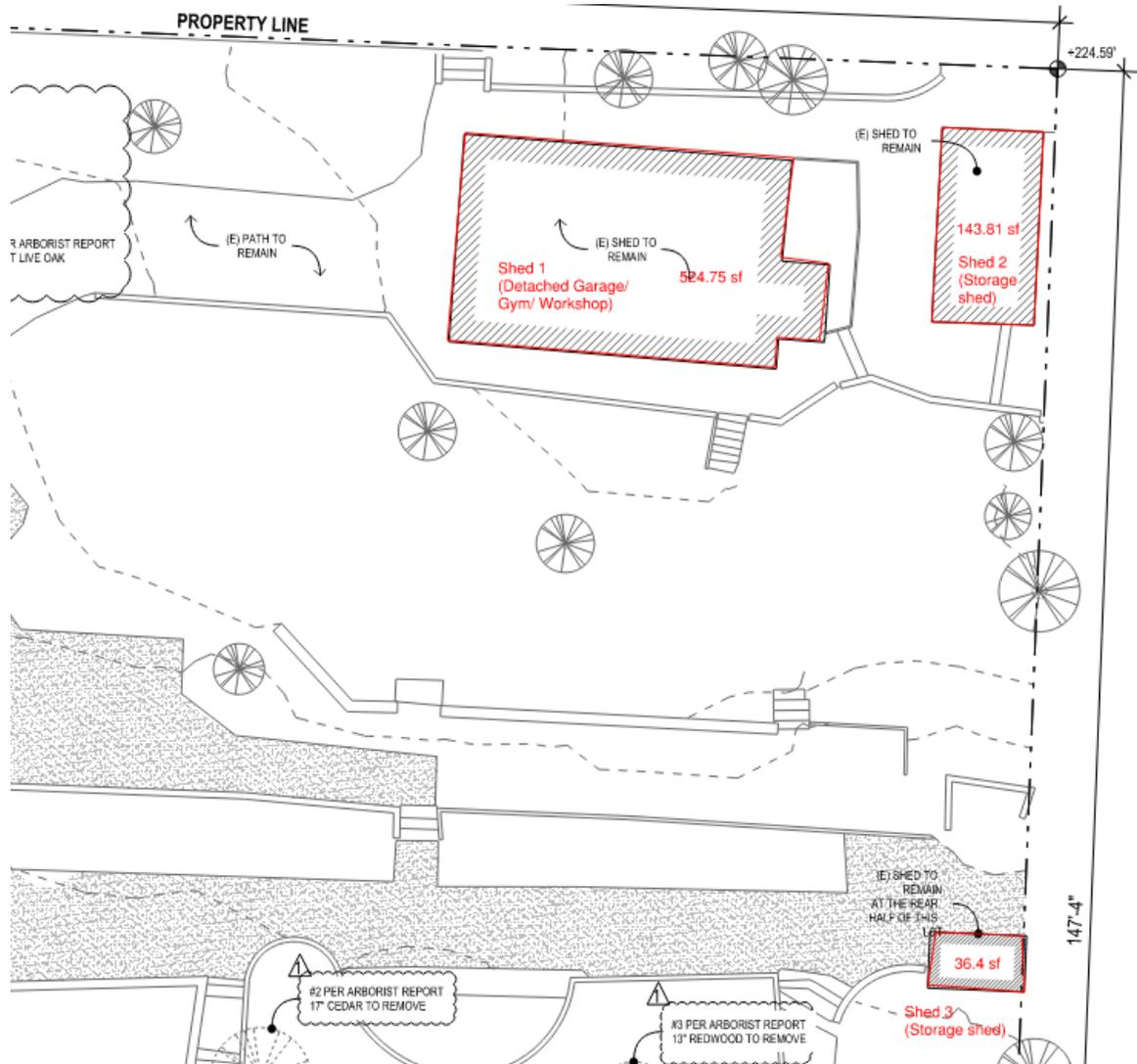


Figure 1: Site plan showing three existing detached accessory structures

## **RECOMMENDATION**

That the Planning Commission approve the Design Review Permit, Non-Conforming Use Permit, Use Permit, and Fence Height Exception for County File Number PLN 2020-00402, based on and subject to the required findings and conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Sonal Aggarwal, Project Planner, Telephone 650-363-1860

Owner: Zhou Fang

Location: 180 Lakeview Way, Emerald Lake Hills

APN: 057-011-330

Size: 21,728 sq. ft.

Existing Zoning: RH/DR (Residential Hillside/Design Review)

General Plan Designation: Medium Low Residential/Urban

Sphere-of-Influence: City of Redwood City

Existing Land Use: Single-Family Residential

Water Supply: City of Redwood City Municipal Water Department

Sewage Disposal: Emerald Lakes County Sewer Maintenance District

Flood Zone: Zone X, Area of Minimal Flood Hazard; Panel No. 06081C0282E

Effective Date: October 16, 2012.

Environmental Evaluation: This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301, Class 1, relating to additions to structures of less than 10,000 sq. ft. in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive. The existing residence is served by water and sewer districts, the project site has been previously disturbed, and the property is located in an established residential community.

Setting: The property is a parcel developed with a single-family residence in the unincorporated community of Emerald Lake Hills. The parcel size is 21,728 sq. ft., which is more than the minimum required lot size of 17,000 sq. ft. for lots with 22 percent slope in RH/ DR district. Surrounding parcels are of a conforming and non-conforming size and are also developed with single-family residences.

Chronology:

<u>Date</u>	<u>Action</u>
March 3, 2021	- Application for Design Review (DR) submitted.
July 21, 2021	- Application was deemed complete.
August 10, 2021	- At the Emerald Lake Hills Design Review Officer (DRO) hearing, the DRO recommended approval of the project.
August 12, 2021	Use Permit for detached accessory structures and Fence Height Exception for front fence added as part of the application.
October 13, 2021	- Planning Commission hearing.

**DISCUSSION**

A. **KEY ISSUES**

**1. Conformance with the General Plan**

The General Plan Visual Quality Policy 4.4 requires the appearance of urban development to promote aesthetically pleasing development. The General Plan then calls for the establishment of guidelines for communities to achieve these goals. The establishment of the Design Review (DR) Zoning District, Section 6565 of the San Mateo County Zoning Regulations, is the mechanism that fulfills this directive. A project that complies with the Emerald Lake Hills Design Standards (Section 6565.15 of the San Mateo County Zoning Regulations), therefore, conforms with the General Plan Policies 4.4 (*Appearance of New Development*) and 4.36 (*Urban Area Design Concept*). These policies require structures to promote and enhance good design, as well as improve the appearance and visual character of development in the area by managing the location and appearance of the structure. The project, as proposed and conditioned, has been reviewed by the Emerald Lake Hills Design Review Officer and has been found to be in compliance with the Design Review Standards for Emerald Lake Hills. A detailed discussion is provided in Section A.3 of this report.

## 2. Conformance with the Zoning Regulations

A summary of project conformance with the current requirements of the Residential Hillside (RH) Zoning District is provided in the table below. As shown, the proposed addition complies with the development standards of the RH Zoning District but does not comply with the fence and accessory structures requirements of the Zoning Regulations, as discussed further in this report.

Development Standards	Zoning Requirements	Existing	Proposed	Complies? Yes/No
Minimum Building Site Area	17,000 sq. ft. for slope of 22%	21,728 sq. ft. 22 % slope	<i>No change</i>	Yes
Minimum Building Site Width	50 ft.	63.5 ft. (front)	<i>No change</i>	Yes
Minimum Setbacks:				
• Front	20 feet  0 ft. for garage only as the slope exceeds 14%	9.08 ft.*	<i>No change</i>	No
• Rear	20 ft. for the house	99.41 ft.	85.66 ft. (new)	Yes
• Sides	Combination of 20 with a minimum 7.5 ft.	Left side: 20.58 ft  Right side: 16.5 ft.	Left side - 14.83 ft. (new)  Right side - <i>No change</i>	Yes  Yes
Maximum Lot Coverage	25% or 5,432 sq. ft.	8.9 % 1,954 sq. ft.	19.2 % 4,188 sq. ft.	Yes
Maximum Building Floor Area	30% or 6,518 sq. ft.	11.1% 2,432 sq. ft.	24.9% 5,421 sq. ft.	Yes
Maximum Building Height	28 ft.	25 ft.	28 ft.	Yes

Development Standards	Zoning Requirements	Existing	Proposed	Complies? Yes/No
Minimum Parking	2 covered spaces and 2 uncovered spaces	1 covered space and 1 uncovered space	4 covered spaces and 2 uncovered spaces	Yes
Fence Height	4 ft. in front yard	6 ft. **	6 ft. **	No
Allowed Accessory Structures	One	four **	three**	No
* Existing, non-conforming feature				
** Non-conforming features of current proposal				

As shown in the table above, the house maintains a 9-foot 1-inch front setback, whereas a 20-foot minimum front setback is required for this parcel. With the proposed garage (962 sq. ft), home addition (1,299 sq. ft) and two existing sheds (733 sq. ft.), the new floor area of the house will be 5,421 sq. ft. (0.24 FAR), which complies with the maximum floor area of 6,518 sq. ft. (0.30 FAR) for this property. The proposed development will result in a total of 4,188 sq. ft. (19.2 percent) of lot coverage, which complies with maximum lot coverage of 5,432 sq. ft. (25 percent). As the proposal would enlarge a non-conforming residence, a Non-Conforming Use Permit is required, as further discussed in Section A.4 of this report.

### **3. Conformance with the Design Review Regulations**

The project was heard on August 10, 2021, at the Emerald Lake Hills Design Review meeting. The neighbor on 186 Lakeview Way submitted correspondence (Attachment I) and provided comments at the August hearing. The neighbor stated that there were too many exceptions being sought, raised privacy concerns, and stated that too many trees were being removed for the project. The DRO explained that the use permit request was not authorizing a non-conforming addition to the house, but that the existing house itself was non-conforming and the reason for the exception request. The DRO also stated that proposed decks are located to the rear of the residence and are not close to the neighbor's property line, and therefore there would be minimal privacy impact. The DRO stated that proposed tree removal is consistent with the tree removal regulations, as only trees in the footprint of the proposed development will be removed. After hearing all comments, the (DRO) recommended approval of the project, finding that the addition would be consistent with applicable Design Review Standards, Section 6515.15 of the Zoning Regulations.

The project's compliance with these Design Review Standards is discussed below:

- a. Site Planning: Requires the siting of new buildings on a parcel in locations which achieve the following five objectives:

- (1) *Minimize tree removal.*

Three significant trees (18-inch DBH Cedar, 12-inch DBH Redwood, and 8-inch/9-inch/11-inch DBH Buckeye) are proposed to be removed with this project. At the August 10, 2021 meeting the neighbor at 186 Lakeview Way objected the removal of the 17-inch DBH Cedar tree. This tree and other trees are within the footprint of the construction and therefore the DRO supported the removal of the trees. These trees are also recommended for removal by the project arborist. Tree protection measures, included in the Arborist Report, are required for remaining trees on the site during construction to ensure their health and survival.

- (2) *Minimize alteration of the natural topography.*

The site is currently developed with a single-family residence on a downward sloping lot on Lakeview Way. The proposed garage floor, ground floor, and upper floor additions align with the existing house and follow the grade of the site. The proposed rear addition of the living/dining room and jacuzzi on the lower floor plan (first floor) and master bedroom and walk-in closet on the ground floor plan (second floor) extend outside the existing rear deck and will be built in a region altered previously by construction. Therefore, there will be minimal change to the existing topography.

- (3) *Respect the privacy of neighboring houses and outdoor living areas.*

The proposed new living areas on the lower (first) and ground (second) floor are below street level and are set back at 16.5 feet from the right side of the property. Adjacent to the left side of the parcel is a private 22-foot-wide access road for 2189 Edgewood Drive. The proposed new deck will maintain a rear setback of 85.66'. No neighboring properties would be impacted due to the setbacks, topography and screening provided by the existing and proposed trees between the properties.

- (4) *Minimize blockage of sunlight on neighboring housing and outdoor living areas.*

The proposed additions meet the required setbacks of the Residential Hillside Zoning District. Blockage of sunlight on neighboring housing and outdoor living areas is minimized as the house meets the required side and rear setbacks

- (5) *Minimize alteration of streams and natural drainage channels.*

There are no streams or drainage channels that would be impacted by this project.

- b. Architectural Styles: Requires buildings to be architecturally compatible with existing buildings and reflect and emulate architectural styles and the natural surroundings of the immediate area.

There is a wide array of residential styles in the immediate surrounding area. The existing house is a ranch-style home, a style found commonly in Emerald Lake Hills. The addition will modernize the appearance of the residence, but the residence will remain consistent with the mix of newer and older styles in Emerald Lake Hills.

After reviewing the plans on August 10, 2021 meeting, the DRO found that the architectural style of the project is compatible with nearby residences, those throughout the Emerald Lake Hills community, and the natural surroundings, and therefore, the DRO recommended approval of the project. The DRO found that the addition complies with the design standards, as the new garage does not front the street, there are no blank walls, and the window and door patterns are aesthetic and proportioned. The DRO stated that the proposed materials were consistent with design standards and the privacy was maintained with the proposed design. At the hearing, the DRO indicated that there had been prior conversations with the applicant about how the proposed stucco color did not sufficiently comply with the design standards and that it should be less white and more beige or light gray. A condition of approval (Condition 4, Attachment A) has been added to the project for the applicant to apply the primary color of the addition to existing portions of the house in order to unify the design of the residence. Additionally, the DRO added a condition to use a singular material over the new and old portions of the house (Condition 5, Attachment A).

- c. Unenclosed Spaces: Requires avoiding the creation of space beneath buildings and prohibits buildings that are predominantly built on stilts.

Only a portion new construction will be built on stilts. This portion consists of an addition on the ground and lower floor and extending the rear deck. The height of the stilts and the area they support have been minimized.

- d. Building Shapes and Bulk: Requires that buildings are designed with shapes that respect and conform to the natural topography of the site.

From the public right-of-way, the existing residence appears as a single-story structure as the site slopes downward from front to back from Lakeview Way. The proposed additions to the ground (second) and lower (first) floors will be constructed in an area where natural topography has previously been modified. The addition extends out from the current bedrooms and living spaces and will not be visible from the street. Since the addition would not have a great height increase due to the proposed flat roof on the addition and downward slope of the lot, the bulk and shape would conform to the design review standards.

- e. Facades: Requires well-articulated and proportioned facades.

The facades are proportioned and the pattern of windows and doors on the proposed structure does not create any massive blank walls.

- f. Roofs: Requires pitched roofs.

The proposed new addition will have a flat roof, whereas the rest of the house has a pitched roof. However, to comply with the maximum allowed height of 28 feet and achieving the required internal height, the DRO did not object to the flat roof as it will be hidden behind the main house and will not be visible from the street. As the site slopes from front to back, the rear portion of the house will not be visible from the street and the house will still appear to have pitched roof from the street. To make the new roof sections more compatible with the existing house, the DRO suggested using a singular roof material for the project. A condition of approval (Condition 5, Attachment A) is added to address this requirement.

- g. Materials and Colors: Requires varying architectural styles that are compatible by using similar materials and colors that blend with the natural setting and the immediate area.

As proposed currently, the house has wood siding in beige color and the new addition will have smooth stucco painted in the same color. The existing house has horizontal wood siding and a composite shingle roof. The new addition will have a combination of materials- smooth stucco on the dining/living area walls and wooden slats on the walk-in-closet and jacuzzi portion of the addition.

At the hearing, the DRO required the applicant to modify the stucco color to more beige or light grey and paint the rest of the siding in the same color. The applicant revised the house color and agreed to paint the whole house in a singular color as shown below. A condition of approval (Condition 4, Attachment A) is added is also added to adhere to this requirement. Overall, the addition will be hidden behind the existing house and will not be visible from the street. At the August 10, 2021, Design Review Meeting the DRO reviewed the proposal and recommended approval of the project.

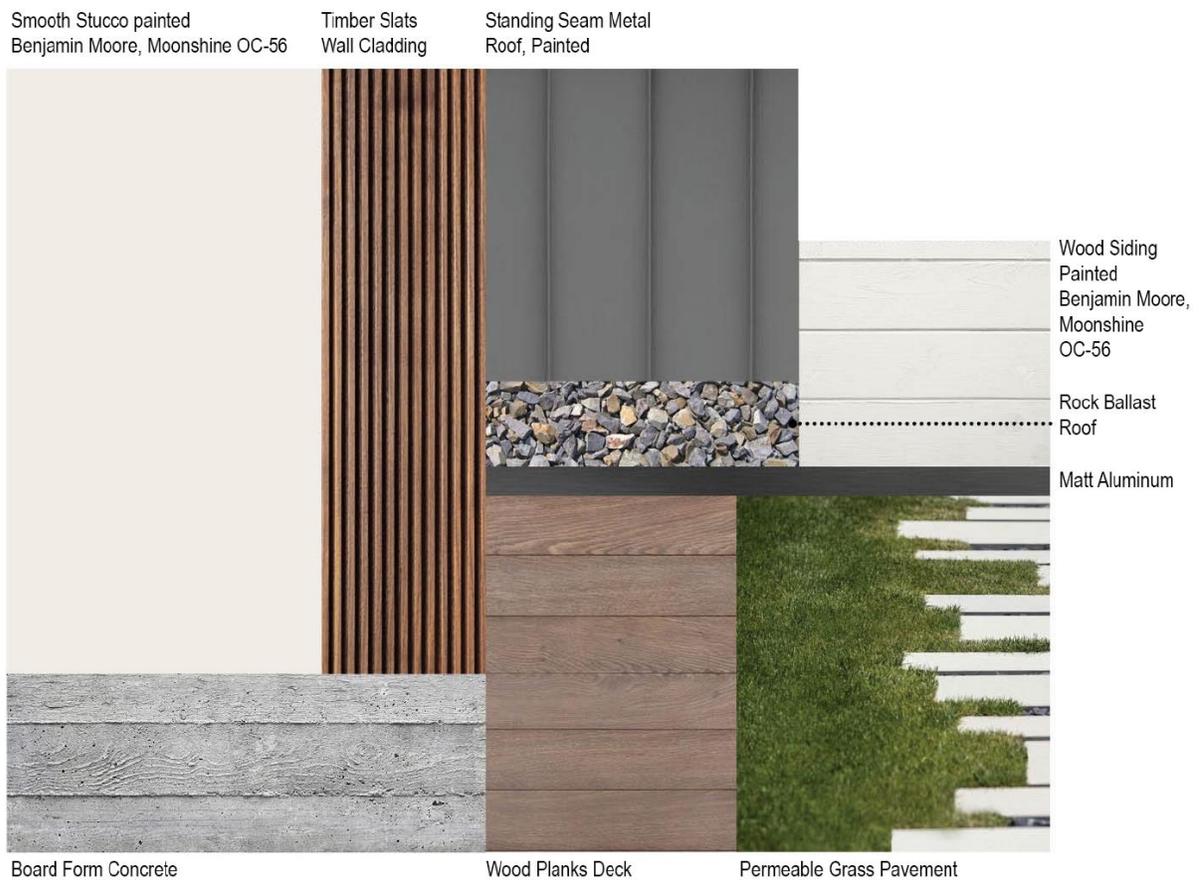


Figure 2: Proposed house materials

- h. Utilities: New utilities should be placed underground.

All new utilities would be placed underground.

- i. Paved Areas: Requires minimization of paved areas.

The amount of proposed paved areas complies with this standard as the amount of pavement is limited to that necessary for appropriate vehicle access and parking. The new paving would provide necessary ingress and egress from the garage and would be created in an area mostly already paved.

#### 4. **Conformance with the Non-Conforming Use Permit Regulations**

Section 61355.b (Chapter 4, Non-Conformities) prohibits a major addition, where the addition is more than 50 percent of the valuation of the existing house, to a non-conforming structure where any nonconformity (in this case the front setback) violates the required zoning standard by 50 percent or more (e.g., provides 9 feet-1-inch where a minimum of 20 feet is required) and requires, at the time of the major addition, for the entire structure to conform with the zoning regulations currently in effect. Section 6137, Exceptions, states that the Planning Commission, at a public hearing, may grant a use permit to except any provision of Chapter 4 which restricts the continuation, enlargement, reestablishment or replacement of a non-conforming use, structure or situation. The applicant has applied for a Non-Conforming Use Permit to maintain the existing non-conforming front setback.

The following is a discussion of the project conformance with required findings, per Sections 6137, Exceptions, and 6503, Revocation of Use Permits, of the Zoning Regulations, for the Planning Commission to grant the Non-Conforming Use Permit:

- a. The proposed development is proportioned to the size of the parcel on which it is being built.

The current house is built on a 21, 728 sq. ft. lot that complies with the minimum lot size requirements of this Zoning District. As discussed in Section A.2, the project complies with the development standards of the RH zoning district which regulate proportional development, such as floor area and lot coverage. Therefore, the proposed development is proportioned to this parcel.

- b. All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.

All parcels contiguous to the sides of the subject parcel are privately owned and developed with single-family residences. As the parcel is already conforming with the lot size regulations of the zoning district there is no further need for acquiring any contiguous land. The existing house is non-conforming with respect to the front setback which can only be rectified by acquiring land within the public right-of-way, which would further narrow this section of Lakeview Way.

- c. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.

Demolition and rebuild of the existing residence such that it conforms to the front setback would be financially infeasible for the applicant. Also, the proposed addition conforms with the existing zoning regulations. There are no changes to the existing, non-conforming development which would create a new zoning non-conformity.

- d. The establishment, maintenance, and/or conduction of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.

The existing residence was constructed in 1946 in its current location without injury to public welfare or the neighborhood. Potential environmental impacts are minimized as the addition is being proposed largely within developed areas of the property, potential environmental impacts to the topography and trees on the site are minimized.

The project has been reviewed by Cal-Fire and the Department of Public Works and has been preliminarily approved. Conditions of approval are included in Attachment A. The project is not located in the Coastal Zone and would not impact coastal resources.

The proposed addition would be compatible with the surrounding residences and with the Emerald Lake Hills community due to project adherence to Emerald Lake Hills Design Review Standards. Based on the foregoing, staff has determined that this proposal would not be detrimental to the public welfare or injurious to property or improvements.

- e. Use permit approval does not constitute a granting of special privileges.

The proposed new development complies with the development standards of the RH Zoning District and does not add any square footage within the non-conforming front setback, and therefore does not constitute the granting of a special privilege not available to others similarly situated.

## **5. Conformance with the Use Permit Regulations for Detached Buildings**

Section 6410 of the Zoning Regulations establishes development standards for detached accessory buildings and allows for the granting of a use permit in accordance with the provisions of Zoning Regulations Chapter 24 and upon finding of unusual circumstance, for detached accessory buildings that (outside Menlo Park) do not conform with the provisions of Section 6410, or (in West Menlo Park) do not conform with the height provisions of this Section. The property is not located in West Menlo Park.

The property contains a detached 542 sq. ft. detached garage/workshop (shed1), and another 149 sq. ft. household storage shed (shed 2) and another 40 sq. ft. garden tool shed (shed 3). There is a fourth detached structure, a doghouse, that will be removed by the applicant before the building permit final. As such, excluding the doghouse, there are a total of three (3) detached buildings at the property, exceeding the one building limit for detached accessory buildings per Section 6410. The Department has interpreted the limit to exclude one building providing required parking from the limit; however, as the proposal includes a three-car attached garage, the existing detached garage is counted towards this limit. The applicant requests to retain the detached garage/workshop as it used by the applicant as a workshop/gym.

Staff does not support the legalization of shed 3 as it is located in the first 50 percent of the lot and does not comply with Section 6411 (b) of the Zoning Regulations. While the applicant proposes to legalize sheds 1, 2 and 3, staff supports retaining only two detached buildings (shed 1 and 2) to maintain closer compliance with Section 6410.

Also, Section 6410 requires detached accessory buildings to maintain 3 feet setbacks from property lines. Shed 2 has a 1-foot right side setback; the applicant requests to retain the shed as it is used for storing household goods and toys.

The following is a discussion of the project conformance with required findings, per Sections 6410 and 6503 of the Zoning Regulations, for the Planning Commission to grant the Use Permit for detached accessory structures:

- a. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The detached accessory structure (shed 1) is the existing one-car garage/workshop. This structure was created through planning application PLN2000-00607. However, since the applicant is now constructing a new three-car garage, this structure will not be used as required parking of the house. With this detached one-car garage, the house will now have four covered parking spaces, whereas two covered spaces are required. As this shed is no longer used as required parking it counts as an additional detached accessory structure. Therefore, the applicant requires a Use Permit to retain more than one accessory structure on the site.

Shed 2 is used as household storage shed and was present in the appraiser report from 1952. This shed is located at 1-foot side setback, whereas the minimum requirement is 3 feet.

Shed 3 is a garden storage shed and is located in the first 50 percent of the lot. This shed is not in compliance with Section 6411 (b), and therefore, staff recommends removal of this structure. A Condition of Approval (Condition 7, Attachment A) has been added to allow two detached structures to remain (sheds 1 and 2) and to require removal of sheds 3 and 4, to keep the site in close compliance with the regulations.

Staff was not able to find associated building permits for sheds 1, 2, 3 and 4, and hence have added a condition (Condition 8, Attachment A) to require the applicant obtain building permits for all the detached accessory structures remaining on the site.

The accessory structures are already existing on the site and therefore will not be detrimental to the public welfare or injurious to property or improvements in said neighborhood. The property is not located in the coastal zone and coastal resources will not be impacted.

- b. That the situation presents an unusual circumstance.

Due to the newly created attached garage, the existing garage will be no longer used for parking and hence it will contribute to the number of detached accessory structures. This is an unusual circumstance and therefore staff recommends granting a Use Permit to allow sheds 1 and 2 to remain.

## 6. Conformance with the Fence Regulations

The following is a discussion of the project conformance with required findings, per Section 6412.2 of the Zoning Regulations, for the Planning Commission to grant a fence height exception for a fence exceeding the 4 feet height limit in the front setback:

- a. Written notification of the exception request is sent to all owners of property located within 300 feet of the parcel where the fence or hedge is proposed to be placed, and to any member of the public requesting such notification, and

The notification was sent to all the property owners within 300 feet of the subject property for the increased fence height in the front setback prior to this meeting. Staff has not received any written or oral objections at the time of writing this report. Staff will address any comments at the hearing. Written notification for the October 13<sup>th</sup>, 2021 hearing has been sent to all property owners within 300 feet of the subject property.

- b. Written notification of the exception request is sent to all recognized organizations or associations that have been established to represent the property owners in the neighborhood surrounding the parcel where the fence or hedge is proposed to be placed, and to any organization or association requesting such notification. An organization or association shall be considered recognized if it has been in existence for at least six months, and has scheduled meetings, and

Notification was sent to the Emerald Lake Hills Homeowners Association prior to the meeting.

- c. No member of public nor organization or association has submitted to the Planning Director written objection to the exception request

Staff has not received any written or oral objections at the time of writing this report. Staff will address any comments at the hearing.

- d. After consultation with the Director of Public Works, the Planning Director finds that approving the exception will not jeopardize public safety, and

The project was approved with conditions by the Public Works Department and no objection was raised by the Director of Public Works or the Director's representative for the increased fence height in the front setback. The subject lot is an interior lot, and an increased height of two foot will not jeopardize public safety as it will not interfere with vehicle sight distance while backing in-or-out from the site.

- e. After viewing the parcel where the fence or hedge is proposed, the Planning Director finds that approving the exception will be compatible with the neighborhood surrounding that parcel, and will not be detrimental to the public welfare, and

Most of the houses that abut the street have their rear yards facing towards Lakeview Way. The rear fence height of these properties is approx. 6 feet high, so having a 6-foot-tall fence in the front yard of the subject property would appear as a continuation of the fence pattern along this street.

- f. The Planning Director finds that the proposed fence or hedge promotes or enhances good design, site relationships and other aesthetic considerations, in accordance with San Mateo County General Plan Policy 4.14. In order to make this determination, the Planning Director may condition the exception with certain requirements, including design, location, materials, colors, and landscaping requirements.

As discussed above, the existing street has a predominantly 6-foot-tall fence along Lakeview Way. The current fence is a 6-foot-tall wooden fence with stucco posts and would be compatible with the design of the residence, as proposed and conditioned, and other fences in the neighborhood. This fence is hidden behind bushes and steps down the slope which further breaks the apparent visual mass of the fence.



Figure 3: Existing front fence, Source: Google Maps

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301, Class 1, relating to additions to structures of less than 10,000 sq. ft. in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive. The existing residence is served by water and sewer districts, and the project site has been previously disturbed, and is located in a residential community that is not an environmentally sensitive area.

C. REVIEWING AGENCIES

Building Inspection Section  
Department of Public Works  
County Fire Department  
Emerald Lake Hills Homeowners Association  
County Emerald Lakes Sewer Maintenance District

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Mailing Notification Map – 300 feet radius
- D. Project Plans
- E. Emerald Lake Hills Design Review Officer Recommendation Letter, dated September 20, 2021
- F. Arborist Report
- G. Photos of Existing House and Fence
- H. E-mails received from neighbors
- I. Applicant's request email to keep shed 3

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**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT A**

County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2021-00402      Hearing Date: October 13, 2021

Prepared By: Sonal Aggarwal      For Adoption By: Planning Commission  
Project Planner

**RECOMMENDED FINDINGS**

For the Environmental Review, Find:

1. This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301, Class 1, relating to additions to structures of less than 10,000 sq. ft. in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive. The existing residence is served by water and sewer districts, and the project site has been previously disturbed and is located in an established residential community.

For the Design Review, Find:

2. This project, as designed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards as stipulated in Chapter 28, Section 6565.15, of the San Mateo County Zoning Regulations. The proposal was reviewed and recommended for approval by the Emerald Lake Hills Design Review Officer (DRO) on August 10, 2021.
3. After consideration of project plans and public testimony, the DRO found that the proposed house design, as proposed and conditioned, is in compliance with the Design Review Standards because the project: (a) minimize alternation to natural topography, (b) has a building shape that will allow for privacy and will not create blockage of sun, and (c) respects privacy of neighboring houses. The DRO added conditions of approval 4, 5 and 6 to make the addition more consistent with the existing house.

For the Non-Conforming Use Permit, find:

4. That the project complies with the required findings for a Non-Conforming Use Permit per Section 6133.3.a.(2) in that:

- a. The development is proportioned in size of the lot and complies with the allowed floor area and lot coverage.
- b. All adjacent parcels are developed and there are no opportunities to acquire contiguous land.
- c. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible, as the project complies with both lot coverage, floor area and height.
- d. As the addition is being proposed largely within developed areas of the property, potential environmental impacts to the topography and trees on the site are minimized. The proposed addition would be compatible with the surrounding residences and with the Emerald Lake Hills community due to project adherence to Emerald Lake Hills Design Review Standards. Based on the foregoing, staff has determined that this proposal would not be detrimental to the public welfare or injurious to property or improvements.
- e. The proposed new development complies with the development standards of the RH Zoning District and does not add any square footage within the non-conforming front setback. Therefore, the use permit approval does not constitute a granting of special privileges.

For the Use Permit for Detached Accessory Structures, find:

- f. The project requires a Use Permit to retain three existing detached accessory structures (sheds 1, 2 and 3). Retention of shed 3 will be detrimental to the neighborhood character as it is located in the first 50 percent of the lot and does not comply with Section 6411 (b). Shed 1 and 2 are existing sheds on site either approved through planning application or shown in the parcel history of 1952. Retention of sheds 1 and 2 will not result in a significant adverse impact to coastal resources or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.
- g. Due to the newly created attached garage, the existing garage will be no longer used for parking and hence it will contribute to the number of detached accessory structures. This is an unusual circumstance justifying granting of a Use Permit to allow sheds 1 and 2 to remain.

For the Fence Height Exemption, find:

- a. The notification was sent to all the property owners within 300 feet of the subject property for the increased fence height in the front setback prior to this meeting. No comments were received as of publication of this report. Staff will address any comments at the hearing.

- b. Notification was sent to the Emerald Lake Hills Homeowners Association prior to the meeting.
- c. Staff has not received any written or oral objections at the time of writing this report. Staff will address any comments at the hearing.
- d. The project was approved with conditions by the Public Works Department and no objection was raised by the Director of Public Works or the Director's representative for the increased fence height in the front setback. The subject lot is an interior lot, and an increased height of two foot will not jeopardize public safety as it will not interfere with vehicle sight distance while backing in-or-out from the site.
- e. Most of the houses that abut the street have their rear yards facing towards Lakeview Way. The rear fence height of these properties is approx. 6 feet high, so having a 6-foot-tall fence in the front yard of the subject property would appear as a continuation of the fence pattern along this street.
- f. The existing street has a predominantly 6-foot-tall fence along Lakeview Way. The requested Fence Height Exception for increasing the fence height from 4 feet to 6 feet in the front yard only enhances the good design, site relationships, and aesthetics considerations along the street. The current fence is a wooden fence with stucco posts and would be compatible with the design of the residence, as proposed and conditioned, and other fences in the neighborhood. The fence is hidden behind bushes and steps down the slope which further breaks the apparent visual mass of the fence.

## **RECOMMENDED CONDITIONS OF APPROVAL**

### **Current Planning Section**

1. The project shall be constructed in compliance with the plans as approved by the Planning Commission on October 13, 2021. Any minor changes or revisions to the approved plans shall be submitted for review by the Community Development Director to determine if they are in substantial compliance with the approved plans. Minor adjustments to project design may be approved by the Emerald Lake Hills Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Adjustments to the design during the building plan stage may result in the assessment of additional plan resubmittal or revision fees. Alternatively, the Design Review Officer may refer consideration of the adjustments, if they are deemed to be major, to a new Emerald Lake Hills Design Review Officer and Planning Commission public hearing which requires payment of additional fees.
2. Three significant trees (18-inch DBH Cedar, 12-inch DBH Redwood and 8-inch/ 9-inch/11-inch DBH Buckeye) are approved for removal. Trees designated to

remain shall be protected from damage during construction. Any additional tree removal is subject to the San Mateo County Tree Ordinance and will require a separate permit for removal.

3. Tree Replacement and Protection:
  - a. Owner shall plant six (6) 15-gallon, or three (24-inch box), or nine (9) 5-gallon size replacement trees for removing three (3) significant trees from the site, prior to final sign-off of the building permit. Proof of tree replanting shall be submitted to the Current Planning Section via photos for verification.
  - b. Tree protection, as detailed in the Arborist Report, shall be shown on the plans provided to the Building Inspection Section for a building permit for any tree within proximity of the construction zone. The Applicant shall correct the tree dripline details for all existing trees on all sheets. The site plan SU1 details accurate driplines, while the Grading, Drainage, and Erosion Control Plan show token tree icons which appear to detail only 1/3 of the actually canopy volume.
4. The applicant shall use a singular color for the whole house as shown in the submitted material board and approved by the Design Review Officer.
5. Materials (roof and exterior) shall be changed to improve the integration of the addition with the existing development. Changes made to the design to unify the addition shall be reviewed by the Design Review Officer prior to a final building permit sign-off by the Current Planning Section.
6. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to a final building permit sign-off by the Current Planning Section.
7. Only two detached accessory structures shall remain on site and the applicant shall remove sheds 3 (garden storage shed) and 4 (doghouse) prior to final of the building permit for the residence.
8. The applicant shall obtain building permits for all the detached accessory structures that will remain on the site.
9. The applicant shall show the revised location of front entrance stairs, as approved by the Department of Public Works on grading, drainage, and erosion control plan.
10. Prior to the Current Planning Section approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on

the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).

11. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.

12. The applicant shall adhere to all requirements of the Building Inspection Section, the Department of Public Works, and County Fire.
13. No site disturbance shall occur, including any grading or tree/vegetation removal, until a building permit has been issued.
14. To reduce the impact of construction activities on neighboring properties, comply with the following:
  - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles impede through traffic along the right-of-way on Lakeview Way. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Lakeview Way. There shall be no storage of construction vehicles in the public right-of-way.

15. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays, and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
16. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines” including, but not limited to, the following:
  - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
  - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - c. Performing clearing and earth-moving activities only during dry weather.
  - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
  - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
  - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
  - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilization of designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.

- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

### Building Inspection Section

- 17. A building permit is required.
- 18. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Drainage Section for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Drainage Section for review and approval.
- 19. The project shall be designed and constructed according to the latest adopted and locally amended California Building Standards Code, which at the time of this review is the 2019 version.
- 20. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.
- 21. All roof assemblies in Very high Fire Hazard Severity Zones shall have a minimum CLASS-A fire resistive rating and be installed in accordance with the manufacturer's specifications and current California Building and Residential Codes.
- 22. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to

the San Mateo County Building Department for review and approval by the authority having jurisdiction.

23. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height and have a minimum 1/2-inch stroke. Remote signage shall be a 6-inch by 18-inch green reflective metal sign.
24. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection to meet CRC R327 or CBC Chapter 7A requirements.

#### County Fire Department

25. Fire sprinklers shall be installed throughout the entire residence.
26. A fire flow of 875 gpm for 2 hours with a 20-psi residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection is required prior to County Fire's final approval of the building permit or before combustibles are brought on site.
27. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrestor of a mesh with an opening no larger than 1/2-inch in size or an approved spark arresting device. Maintain around and adjacent to such buildings or structures a fuel break/firebreak made by removing and cleaning away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures or to the property line, if the property line is less than 30 feet from any structure. This is not a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures. Remove that dead or dying portion of any tree which extends over the roof line of any structure.
28. Maintain around and adjacent to such buildings or structures a fuel break/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures, or to the property line, if the property line is less than 30 feet from any structure.

29. When receiving water service for fire protection (hydrants, fire sprinkler systems) from a public or municipal water purveyor, written certification from the water company that hydrants will be installed, or the existing water system is capable of meeting the project conditions is required to be presented to the San Mateo County Fire Department for verification to show that required upgrades to the system will be installed and that existing fire flows will meet the project requirements.
30. An interior and exterior audible alarm activated by automatic fire sprinkler system water flow shall be required to be installed in all residential systems. All hardware must be included on the submitted sprinkler plans.
31. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
32. Fire Department access shall be to within 150 feet of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 feet wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 feet is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15 percent shall be paved and no grade shall be over 20 percent. When gravel roads are used, it shall be class 2 base or equivalent compacted to 95 percent. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.

#### Department of Public Works

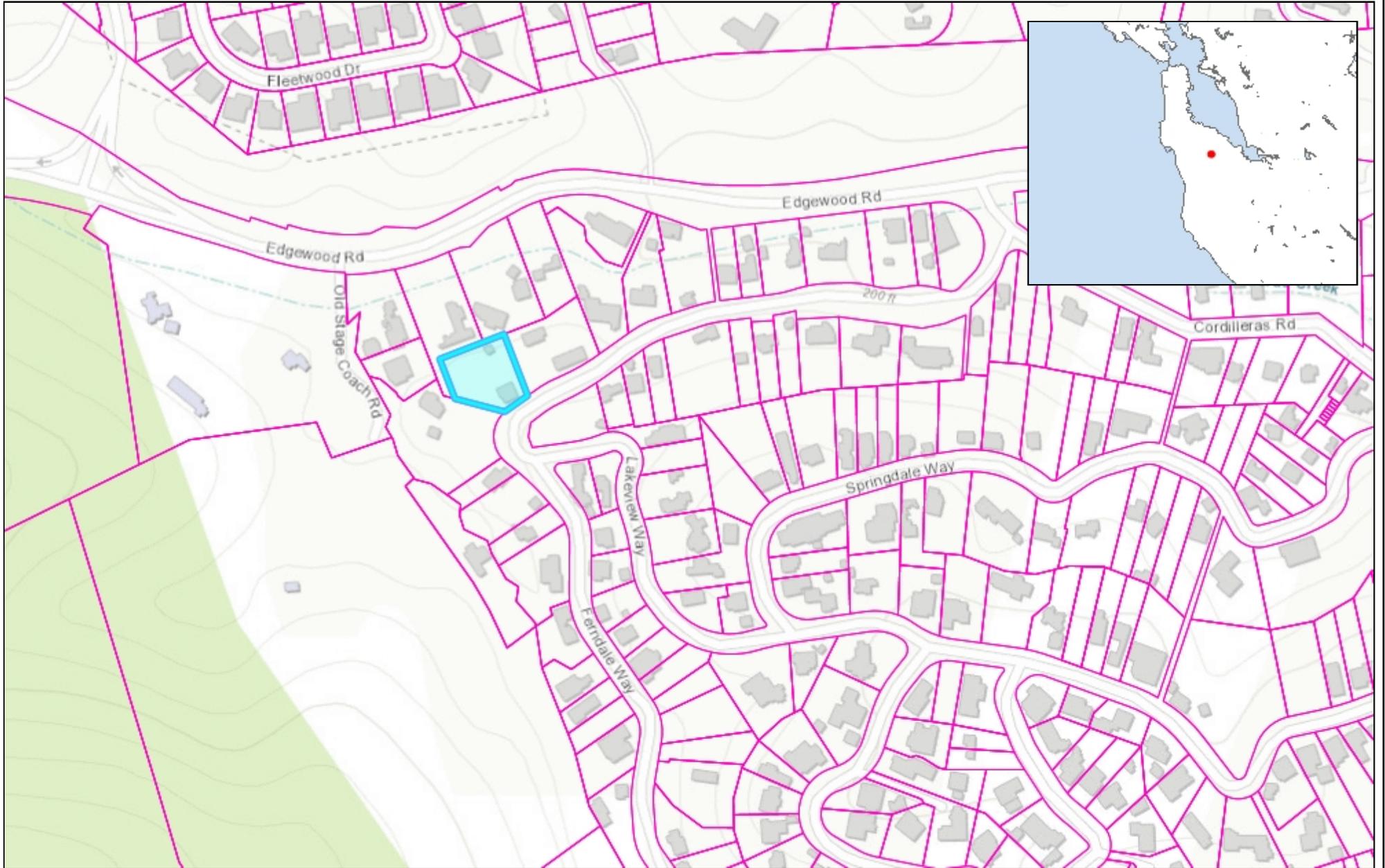
33. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
34. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

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**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT B**



0.14 0 0.07 0.14 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1:4,514 

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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



0.02 0 0.01 0.02 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1:564



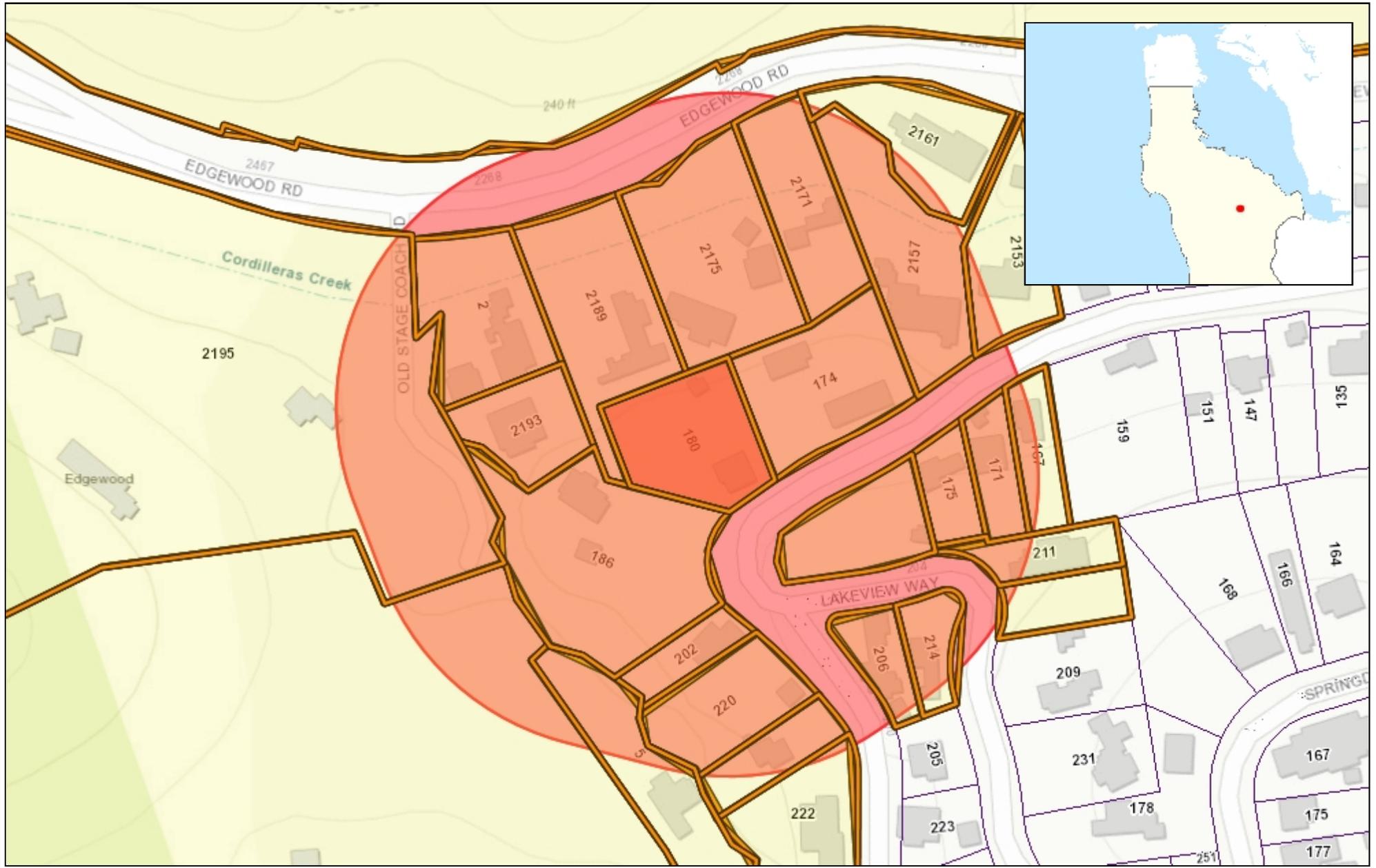
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**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT C**



0.07 0 0.04 0.07 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1:2,257 

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**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT D**



# FANG/JIANG ADDITION

180 LAKEVIEW WAY, REDWOOD CITY, CA 94062

PROJECT  
**FANG/JIANG ADDITION**  
 180 LAKEVIEW WAY  
 REDWOOD CITY, CA 94062

### PROJECT TEAM

**OWNERS**  
 ZHOU FANG & XINYI JIANG  
 180 LAKEVIEW WAY  
 REDWOOD CITY, CA 94602  
 (765) 237-2036  
 njiangdmd@gmail.com

**ARCHITECT**  
 PETER SUEN  
 FIFTH ARCH  
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 SAN FRANCISCO, CA 94110  
 (415) 513-6110

**STRUCTURAL ENGINEER**  
 GEOTRINITY CONSULTANTS, INC.  
 77701 PARDEE LANE, SUITE 101  
 OAKLAND, CA 94621  
 (510) 383-9950  
 info@geotrinity.com

**SURVEYOR**  
 LEA & BRAZE ENG., INC.  
 2495 INDUSTRIAL PKWY WEST  
 HAYWARD, CA 94545  
 (510) 887-4086

**ARBORIST**  
 KIELTY ARBORIST SERVICES LLC  
 P.O. BOX 6187  
 SAN MATEO, CA 94403  
 (650) 515-9783

### DRAWING LIST INDEX

- ARCHITECTURAL**  
 A0.1 TITLE SHEET  
 A0.2 NOTES & LEGEND
- A1.1 EXISTING SITE PLAN  
 A1.2 PROPOSED SITE PLAN
- A2.1 EXISTING FLOOR PLANS  
 A2.2 EXISTING ROOF PLAN  
 A2.3 GROUND FLOOR PLAN  
 A2.4 LOWER FLOOR PLAN  
 A2.5 LOWER GARAGE PLAN  
 A2.6 PROPOSED ROOF PLAN
- A3.1 EXISTING BUILDING ELEVATIONS  
 A3.2 BUILDING ELEVATIONS  
 A3.3 BUILDING ELEVATION
- A4.1 EXISTING BUILDING SECTIONS  
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- CIVIL**  
 C1 GRADING PLAN  
 C2 DRAINAGE PLAN  
 C3 EROSION CONTROL PLAN  
 C4 SECTIONS  
 C5 DETAILS
- SURVEY**  
 SU1 TOPOGRAPHIC SURVEY

- SUBMITTED WITH PLAN SET**  
 GEOTECHNICAL REPORT  
 GEOTRINITY CONSULTANTS, INC.  
 12/17/2020
- STORM WATER CALCULATIONS  
 GEOTRINITY CONSULTANTS, INC.  
 12/22/2020
- ARBORIST REPORT  
 KIELTY ARBORIST SERVICES LLC  
 08/10/2020
- DEFERRED SUBMITTALS**  
 NONE

### PROJECT SCOPE

THE SCOPE OF WORK UNDER THIS PERMIT INCLUDES THE CONSTRUCTION OF A (N) HORIZONTAL ADDITION WITH A (N) PRIMARY BEDROOM, (2) NEW BATHROOMS AND A (N) 3-CAR GARAGE.

### PROJECT DATA

**LEGAL**  
 LOCATION: 180 LAKEVIEW WAY, REDWOOD CITY, CA 94062  
 APN: 057011330  
 ZONING: RH/DR

BUILDING AREA	EXISTING	PROPOSED
LOT AREA:	21728 SQ. FT.	21728 SQ. FT.
GROUND FLOOR:	1218 SQ. FT.	1685 SQ. FT.
LOWER FLOOR:	1214 SQ. FT.	1957 SQ. FT.
LOWER GARAGE:	N/A	1046 SQ. FT.
TOTAL FLOOR AREA:	2432 SQ. FT.	4688 SQ. FT.

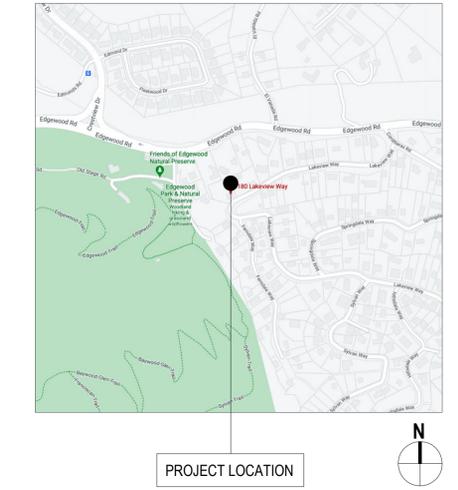
BUILDING HEIGHT	EXISTING	PROPOSED
EXISTING:	25'-0"	28'-0"
PROPOSED:	28'-0"	28'-0"
ALLOWED:	28'-0"	28'-0"

BUILDING SETBACKS	REQ'D.	EXISTING	PROPOSED
FRONT:	20'-0"	9'-1"	9'-1"
SIDE(EAST):	7'-6"	16'-6"	16'-6"
SIDE(WEST):	7'-6"	21'-1"	20'-7"
REAR:	20'-0"	85'-3"	85'-3"

**OCCUPANCY GROUP**  
 R-3

**CONSTRUCTION TYPE**  
 TYPE VB

### SITE LOCATION MAP



### APPLICABLE BUILDING CODES

ALL WORK NOTED SHALL BE IN FULL ACCORD & COMPLY WITH THE LATEST RULES, REGULATIONS, ORDINANCES, CODES & STANDARDS LISTED BELOW & ANY AND ALL LOCAL CODES AND ORDINANCES CURRENTLY IN EFFECT IN THE COUNTY OF SAN MATEO.

- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA GREEN BUILDING CODE (CGBC)
- 2019 CALIFORNIA PLUMBING CODES (CPC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS
- 2019 CALIFORNIA FIRE CODE (CFC)

### ISSUES & REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/2021	PLANNING PERMIT SUBMITTAL
2	05/10/2021	1st PLANNING COMMENTS

### TITLE SHEET

DATE: 5/11/2021  
 SCALE: AS NOTED  
 DRAWING BY: YZ  
 CHECKED BY: PS

# A0.1

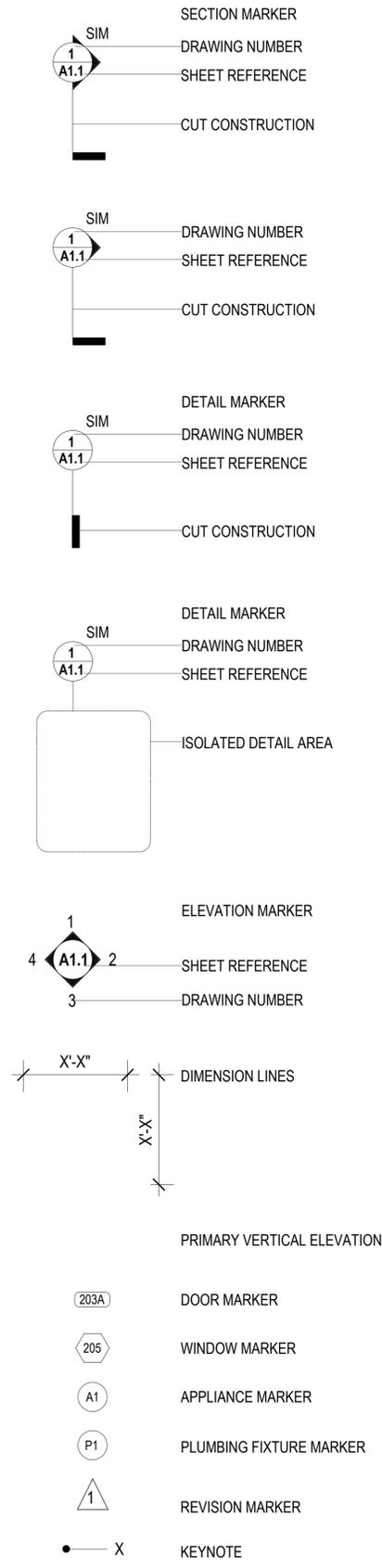
**GENERAL NOTES & CONDITIONS**

1. NOTIFY ARCHITECT PROMPTLY IF ANY CONDITIONS CONFLICT WITH CONSTRUCTION DOCUMENTS.
  2. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO FABRICATION/ CONSTRUCTION.
  3. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DOCUMENTS, INCLUDING DISCREPANCIES BETWEEN ENGINEERING DOCUMENTS AND CONSTRUCTION DOCUMENTS.
  4. PROVISIONS SHALL BE MADE FOR THE UNDERGROUNDING OF ALL UTILITIES SERVING THE PROPERTY, INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELEPHONE, AND CABLE TELEVISION, BY THE INSTALLATION OF APPROPRIATELY SIZED UNDERGROUND CONDUITS EXTENDING FROM THE STREET PROPERTY, AS PER BBC 705A.1.
  5. ALL PERSONS WORKING AT THIS SITE MUST IMPLEMENT APPLICABLE PORTIONS OF THE STATE STORM WATER BEST MANAGEMENT PRACTICES MANUAL FOR CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICABLE TO PREVENT EROSION AND SEDIMENT FROM ENTERING INTO THE STORM DRAIN SYSTEM. FAILURE TO UTILIZE ADEQUATE CONTROLS IS A VIOLATION OF BMC 17.20. A COPY OF THE MANUAL IS AVAILABLE UPON REQUEST AT THE PERMIT SERVICE CENTER AND AVAILABLE ONLINE AT WWW.CABMPHANDBOOKS.COM.
  6. APPROVAL OF THIS PERMIT FOR WORK IN THE PUBLIC RIGHT-OF-WAY OR EASEMENT DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF OBTAINING PERMISSION TO ENTER NEIGHBORING PROPERTY OR PROPERTIES IN THE COURSE OF THIS WORK IF NECESSARY. IT SHALL NOT BE CONSTRUED AS A LICENSE TO ALTER OR ADVERSELY IMPACT ANY FACILITIES LOCATED IN THESE EASEMENTS WHICH ARE PRIVATELY OWNED. FULL RESTITUTION AND RESTORATION SHALL BE THE RESPONSIBILITY OF THE PERMITTEE. PERMITTEE SHALL NOTIFY PROPERTY OWNER OF INTENTIONS 72 HRS PRIOR TO ENTERING THE PROPERTY.
- DIMENSIONING CONVENTIONS**
1. DIMENSIONS AS NOTED IN THE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
  2. DIMENSIONS ARE FROM GRID LINE TO FACE OF CONCRETE OR STUD ON PLANS AND FACE OF FINISH ON ALL OTHER DRAWINGS, UNLESS OTHERWISE NOTED. ANY ERRORS, OMISSIONS, OR AMBIGUITIES IN THE PLANS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. SEE ENLARGED PLANS, FOR ADDITIONAL DIMENSIONS & INFORMATION.
  3. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE PLANS GOVERN OVER SMALL SCALE PLANS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. IF UNABLE TO LOCATE THE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE ARCHITECT PRIOR TO CONSTRUCTION.
  4. ALL DIMENSIONS ON ELEVATIONS ARE INDICATED FROM FINISH FLOOR ELEVATION TO FIXTURE AND/OR FINISH WALL UNLESS OTHERWISE NOTED.
  5. ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF PLYWOOD OR SLAB, UNLESS NOTED "A.F.F."
  6. DIMENSIONS ARE NOT ADJUSTABLE , UNLESS NOTED (+/-), WITHOUT ARCHITECT'S WRITTEN APPROVAL.
  7. EXCEPT WHERE SPECIFICALLY NOTED TO THE CONTRARY, ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS CONFORM TO THE FOLLOWING CONVENTIONS:
    - STRUCTURAL OR DIMENSIONAL GRID LINES
    - CENTERLINE OF STEEL
    - CENTERLINE OF DOOR, WINDOW, OR CASED OPENING
  8. WHERE WALLS AND / OR PARTITIONS OF UNEQUAL THICKNESS ABUT, ALIGN EXPOSED FACES, UNLESS OTHERWISE NOTED.

**ABBREVIATIONS**

ACT	Acoustical Ceiling Tile	ID	Inside Diameter	SC	South
BLDG	Building	INCL	Include(ed), (ing)	SCH	Solid Core, Sealed Concrete
BLKG	Blocking	INSUL	Insulation	SE	Schedule
BOS	Bottom of Steel	INT	Interior	SECT	Southeast
BOT	Bottom	INV	Invert	SHT	Section
BRG	Bearing	JAN	Janitor	SHTG	Sheet
CAB	Cabinet	JT	Joint	SHTM	Sheathing
CG	Corner Guard	KIT	Kitchen/Kitchenette	SIM	Similar
CJ	Control/Construction Joint	KO	Knockout	SPEC(S)	Specification(s)
CL	Centerline	LAV	Lavatory	SQ	Sprinkler
CEIL	Ceiling	LH	Left Hand	SS	Square
CLR	Clear/Clearance	MANF	Manufacture(r)	STD	Stainless Steel
CMU	Concrete Masonry Unit	MATL	Material(s)	STL	Standard
COL	Column	MAX	Maximum	STOR	Steel
CONC	Concrete	MECH	Mechanical	STRUCT	Storage
CONST	Construction	MED	Medium	SURF	Structural
CONT	Continuous	MEMBR	Membrane	SUSP	Surface
COORD	Coordinate/Coordination	MEZZ	Mezzanine	SW	Suspend(ed)
CPT	Carpet	MTL	Metal	SYS	Southwest
CSWK	Casework	MIN	Minimum	T&GT	System(s)
CP	Centerpoint	MIR	Mirror(ed)	TI	Tongue and Groove
CT	Ceramic Tile	MISC	Miscellaneous	TAN	Tread, Thermostat
DEMO	Demolition	MO	Masonry Opening	TBD	Tenant Improvement(s)
DF	Drinking Fountain	MTD	Mounted	TEL	Tangent
DIA	Diameter	MULL	Mullion	TEMP	To Be Determined
DIAG	Diagonal	N	North	THRU	Telephone
DIM	Dimension	NE	Northeast	TOB	Temperature/Temporary
DISP	Dispenser	NIC	Not in Contract	TOC	Through
DN	Down	NO.#	Number	TOF	Top of Beam
DR	Door	NOM	Nominal	TOFW	Top of Curb/Coping/Concrete
DTL	Detail	NTS	Not to Scale	TOP	Top of Floor
DWG(S)	Drawing/Drawings	NW	Northwest	TOS	Top of Foundation Wall
E	East	OC	On Center(s)	TOW	Top of Parapet
EXIST	Existing	OD	Outside Diameter	TP	Top of Steel
EIFS	Exterior Insulation & Finish System	OF/CI	Owner Furnished/ Contractor Installed	TYP	Top of Wall
EL	Elevation	OF/OI	Owner Furnished/ Owner Installed	UNFIN	Toilet Partition
ELEC	Electric/Electrical	OFRD	Overflow Roof Drain	UNO	Typical
ELEV	Elevator	OFS	Overflow Scupper	V	Unfinished
EPDM	Elastomeric Membrane	OH	Overhead	VB	Unless Noted Otherwise
EQ	Equal	OPNG	Opening	VCT	Vinyl
EQUIP	Equipment	OPP	Opposite	VERT	Vinyl Base
EXP	Exposed/Expansion	PERM	Permanent	VEST	Vinyl Composition Tile
EJ	Expansion Joint	PERP	Perpendicular	VIF	Vertical
EXT	Exterior	PL	Plate	VNR	Vestibule
FAST	Fasten/Fastener	PLYWD	Plywood	VT	Verify in Field
FD	Floor Drain	PNL	Panel	VVC	Veneer
FE	Fire Extinguisher	PR	Pair	W/	Vinyl Tile
FEC	Fire Extinguisher Cabinet	PREFAB	Prefabricate(d)	W/O	Vinyl Wall Covering
FF	Finish Floor	PREFIN	Prefinish(ed)	W	With
FIN	Finish	PRKG	Parking	WC	Without
FIXT	Fixture	PROP	Property	WD	West
FL/FLR	Floor	PT	Paint(ed)	WDW	Water Closet
FOS	Face of Stud	QT	Quarry Tile	WH	Wood
FR	Frame(s), (ing)	QTY	Quantity	WHF	Window
FRP	Fiber Reinforced Polyester	R	Riser	WLD	Welded Wire Fabric
FTG	Footing	RAD/(R)	Radius(ed)		
FUR	Furr(ed), (ing)	RB	Rubber		
GA	Guage	RCP	Reflected Ceiling Plan		
GALV	Galvanized	RD	Roof Drain		
GBB	Gypsum Backing Board	REC	Recessed		
GC	General Contractor	RECPT	Receptical		
GEN	General	REF	Reference/Refrigerator		
GFRC	Glass Fiber Reinforced Concrete	REINF	Reinforce(d), (ing)		
GL	Glass/Glazing	REQD	Required		
GWB	Gypsum Wallboard	REV	Reverse		
GYP	Gypsum	RH	Right Hand		
HB	Hose Bibb	RM	Room		
HC	Hollow Core, Hose Cabinet	RO	Rough Opening		
HM	Hollow Metal	RT	Resilient Tile		
HOR	Horizontal	RVS	Roof Vent		
HT	Height				
HTG	Heating				
HVAC	Heating/Ventilation/AC				
HDW	Hardwood				

**PROJECT SYMBOLS**

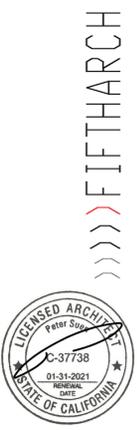


**PROJECT NOTES & CONDITIONS**

**SB 407**  
NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES PER SB 407.

**CONSTRUCTION HOURS**  
WEEKDAYS: 7:00AM - 7:00PM  
SATURDAYS: 9:00AM - 6:00PM  
SUNDAYS AND HOLIDAYS: 10:00AM - 6:00PM

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM AND 5:00PM.



**PROJECT**  
FANG/JIANG ADDITION  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

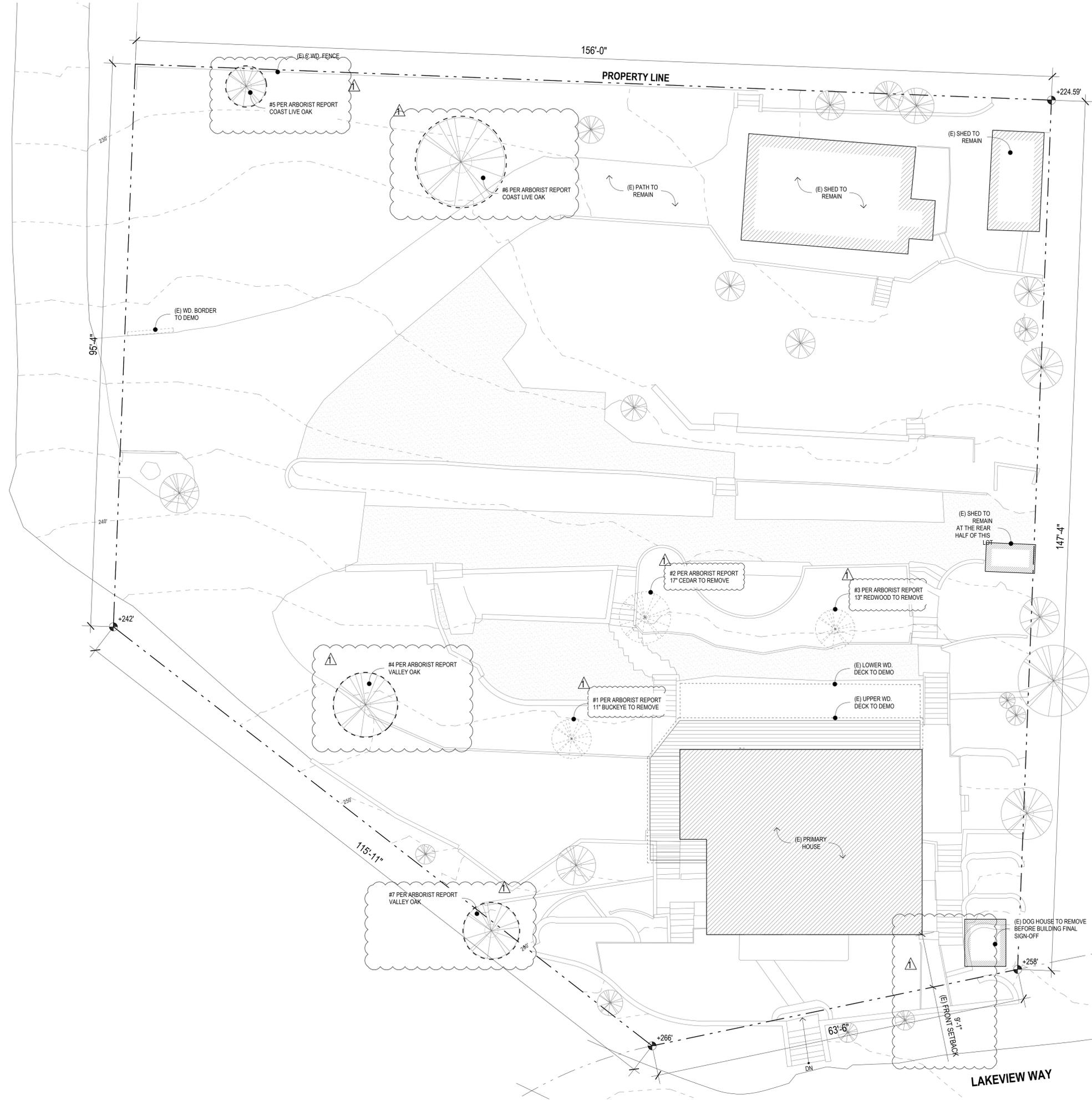
NO.	DATE	DESCRIPTION
1	01/15/2021	PLANNING PERMIT SUBMITTAL
2	05/10/2021	1st PLANNING COMMENTS

ISSUES & REVISIONS	
NO.	DATE

**NOTES & LEGEND**

DRAWING BY: PS  
CHECKED BY: PS  
DATE: 5/11/2021  
SCALE: AS NOTED

**A0.2**



**LINE TYPES:**  
 ——— EXISTING WALL / ELEMENT TO REMAIN  
 - - - - - EXISTING WALL / ELEMENT TO REMOVE

**TREE PROTECTION NOTES:  
 (PER ARBORIST REPORT)**

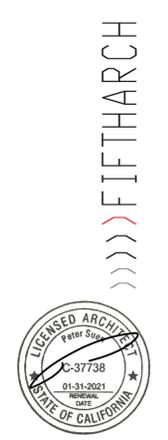
**TREE PROTECTION PLAN:**  
 1. TREE PROTECTION FENCING  
 TREE PROTECTION ZONES SHOULD BE ESTABLISHED AND MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. FENCING FOR THE PROTECTION ZONES SHOULD CONSIST OF 5-FOOT TALL, ORANGE PLASTIC FENCING SUPPORTED BY POLES POUNDED INTO THE GROUND, LOCATED AT THE DRIPLINES WHERE POSSIBLE. THE SUPPORT POLES SHOULD BE SPACED NO MORE THAN 10 FEET APART ON CENTER. THE LOCATION FOR THE PROTECTION FENCING SHOULD BE AS CLOSE TO THE DRIPLINE AS POSSIBLE STILL ALLOWING ROOM FOR CONSTRUCTION TO SAFELY CONTINUE. SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING "TREE PROTECTION ZONE - KEEP OUT". NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES.  
 AREAS OUTSIDE THE FENCING BUT STILL BENEATH THE DRIPLINE OF PROTECTED TREES, WHERE FOOT TRAFFIC IS EXPECTED TO BE HEAVY, SHOULD BE MULCHED WITH 4 TO 6 INCHES OF CHIPPER CHIPS.

2. TRENCHING AND EXCAVATION  
 TRENCHING FOR IRRIGATION, ELECTRICAL, DRAINAGE OR ANY OTHER REASON SHOULD BE HAND DUG WHEN BENEATH THE DRIPLINES OF PROTECTED TREES. HAND DIGGING AND CAREFULLY LAYING PIPES BELOW OR BESIDE PROTECTED ROOTS WILL DRAMATICALLY REDUCE ROOT LOSS OF DESIRED TREES THUS REDUCING TRAUMA TO THE ENTIRE TREE. TRENCHES SHOULD BE BACKFILLED AS SOON AS POSSIBLE WITH NATIVE MATERIAL AND COMPACTED TO NEAR ITS ORIGINAL LEVEL. TRENCHES THAT MUST BE LEFT EXPOSED FOR A PERIOD OF TIME SHOULD ALSO BE COVERED WITH LAYERS OF BURLAP OR STRAW WATTLE AND KEPT MOIST. PLYWOOD OVER THE TOP OF THE TRENCH WILL ALSO HELP PROTECT EXPOSED ROOTS BELOW

3. IRRIGATION  
 NORMAL IRRIGATION SHOULD BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. THE IMPORTED TREES ON THIS SITE WILL REQUIRE IRRIGATION DURING THE WARM SEASON MONTHS. SOME IRRIGATION MAY BE REQUIRED DURING THE WINTER MONTHS DEPENDING ON THE SEASONAL RAINFALL. DURING THE SUMMER MONTHS THE TREES ON THIS SITE SHOULD RECEIVE HEAVY FLOOD TYPE IRRIGATION 2 TIMES A MONTH. DURING THE FALL AND WINTER 1 TIME A MONTH SHOULD SUFFICE. MULCHING THE ROOT ZONE OF PROTECTED TREES WILL HELP THE SOIL RETAIN MOISTURE, THUS REDUCING WATER CONSUMPTION.

4. TREE PRUNING  
 ALL TREE PRUNING SHOULD BE CARRIED OUT BY A LICENSED TREE CARE PROVIDER. THE WORK WILL BE INSPECTED AND OVERSEEN BY THE PROJECT ARBORIST. ALL PRUNING WILL BE WITHIN ANSI STANDARDS AND BEST MANAGEMENT PRACTICES.

○ 5-FOOT TALL, ORANGE PLASTIC FENCING PER ARBORIST REPORT



PROJECT  
**FANG/JIANG ADDITION**  
 180 LAKEVIEW WAY  
 REDWOOD CITY, CA 94062

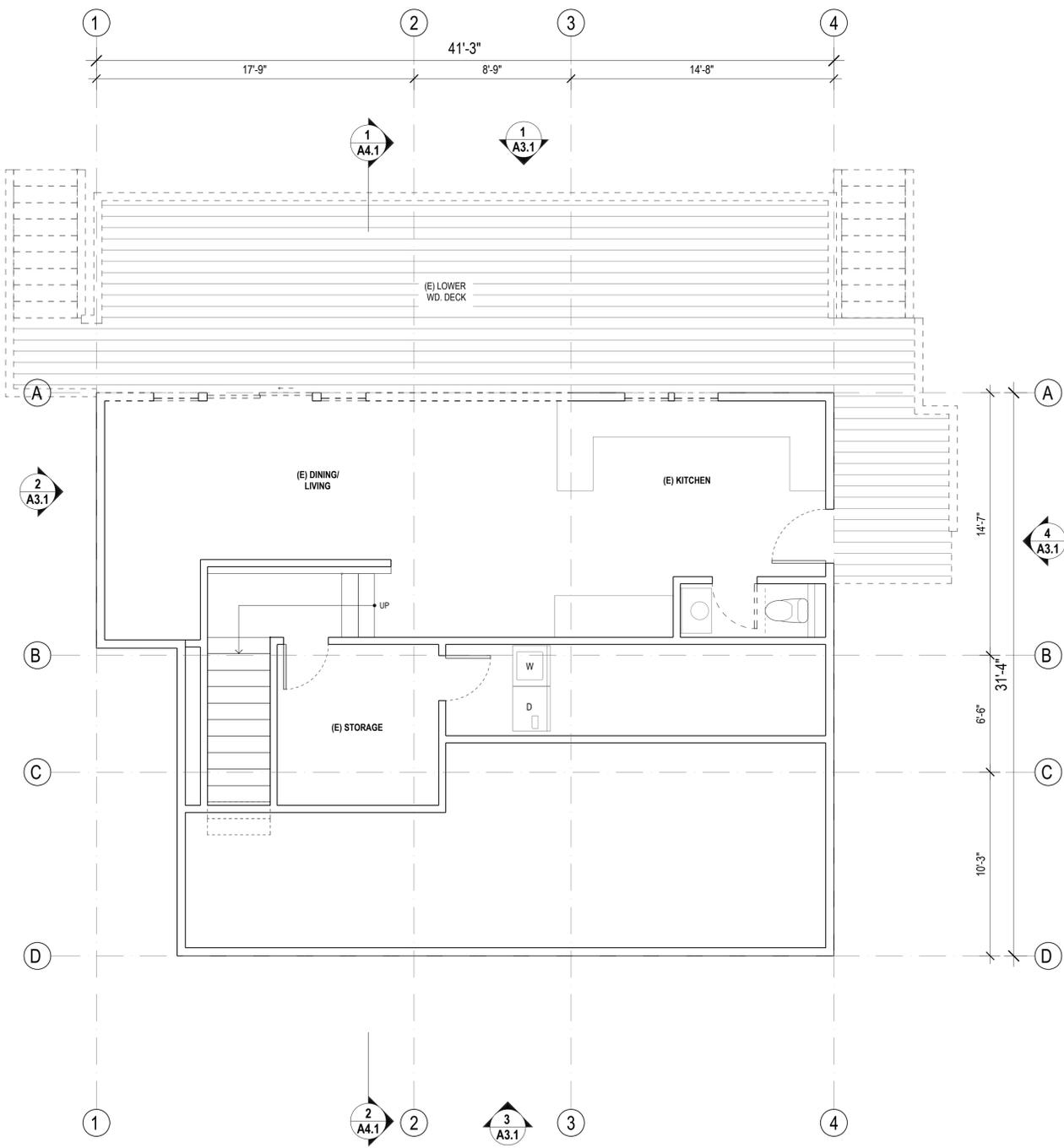
ISSUES & REVISIONS	NO.	DATE	DESCRIPTION
		01/15/2021	PLANNING PERMIT SUBMITTAL
	Δ	05/10/2021	1st PLANNING COMMENTS

**EXISTING SITE PLAN**

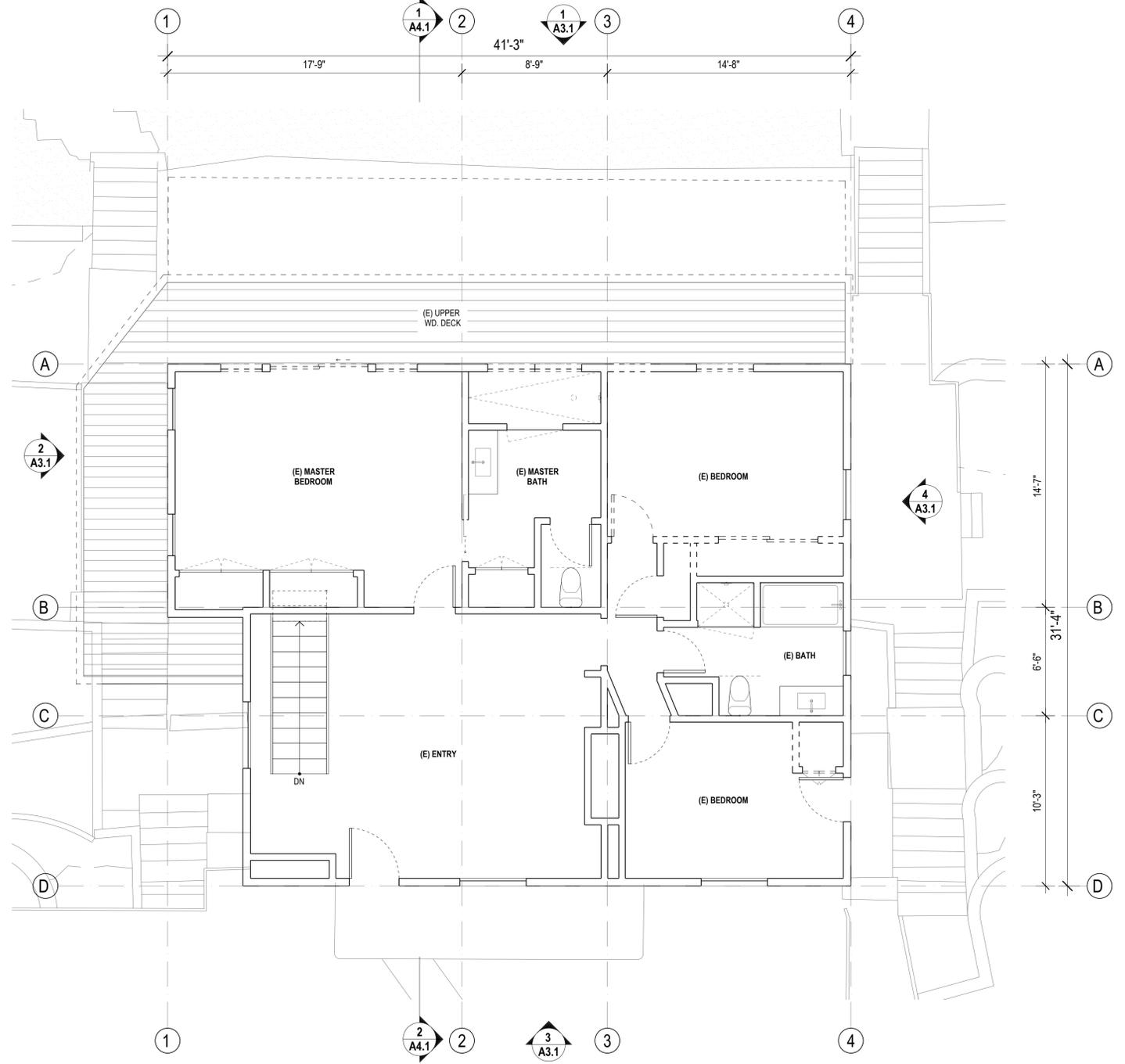
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DRAWING BY: YZ  
 CHECKED BY: PS





**EXISTING LOWER FLOOR PLAN** 2  
SCALE: 1/4" = 1'-0"



**EXISTING GROUND FLOOR PLAN** 1  
SCALE: 1/4" = 1'-0"

**LEGEND**

- EXISTING WALL / ELEMENT TO REMAIN
- - - EXISTING WALL / ELEMENT TO REMOVE



PROJECT  
**FANG/JIANG ADDITION**  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

**ISSUES & REVISIONS**

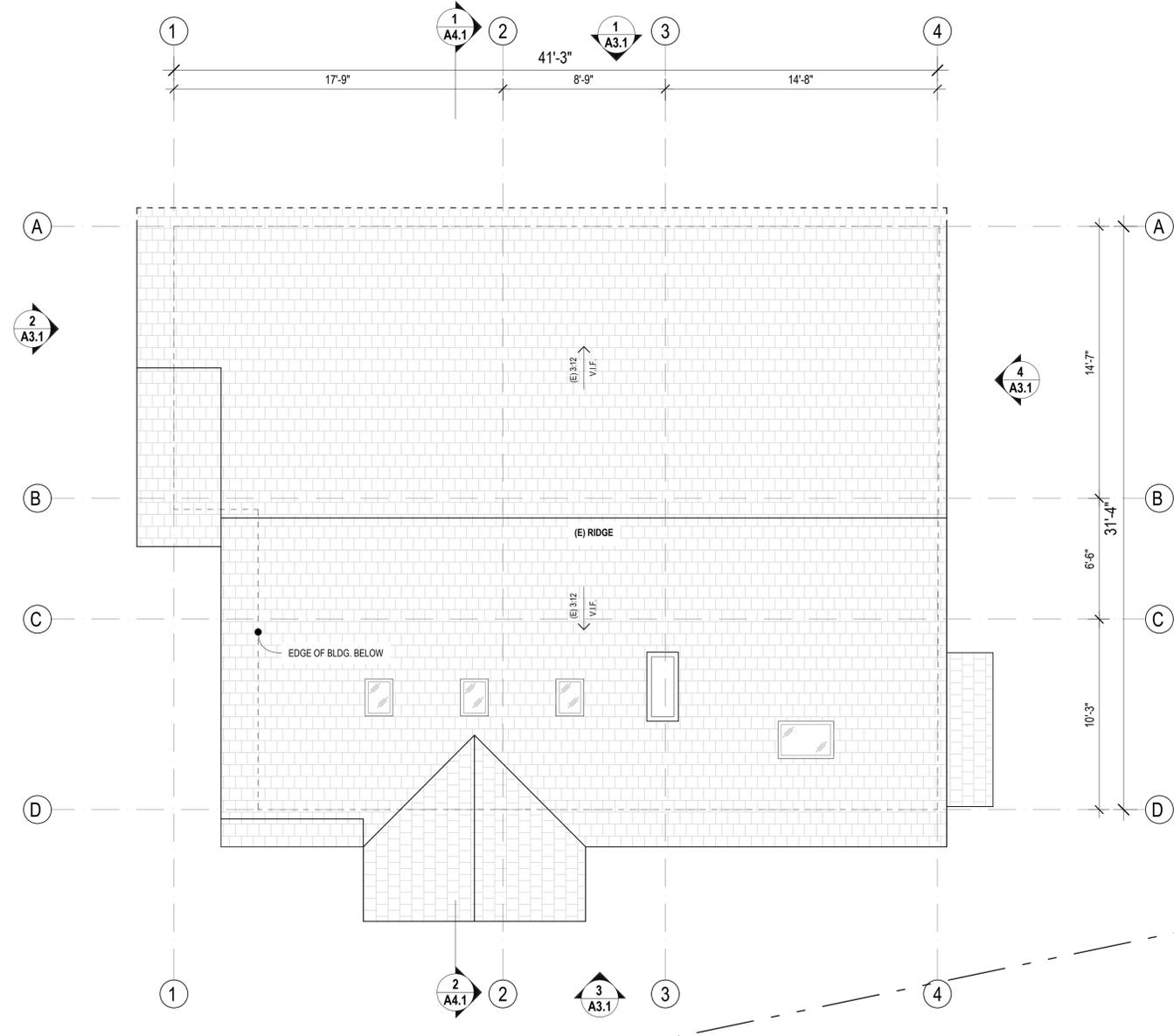
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1	01/15/2021	PLANNING PERMIT SUBMITTAL
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**EXISTING FLOOR PLANS**

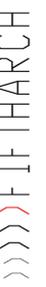
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SCALE: 1/4" = 1'-0"  
DRAWING BY: YZ  
CHECKED BY: PS

**LEGEND**

- EXISTING WALL / ELEMENT TO REMAIN
- - - EXISTING WALL / ELEMENT TO REMOVE



**EXISTING ROOF PLAN** 1  
SCALE: 1/4" = 1'-0"



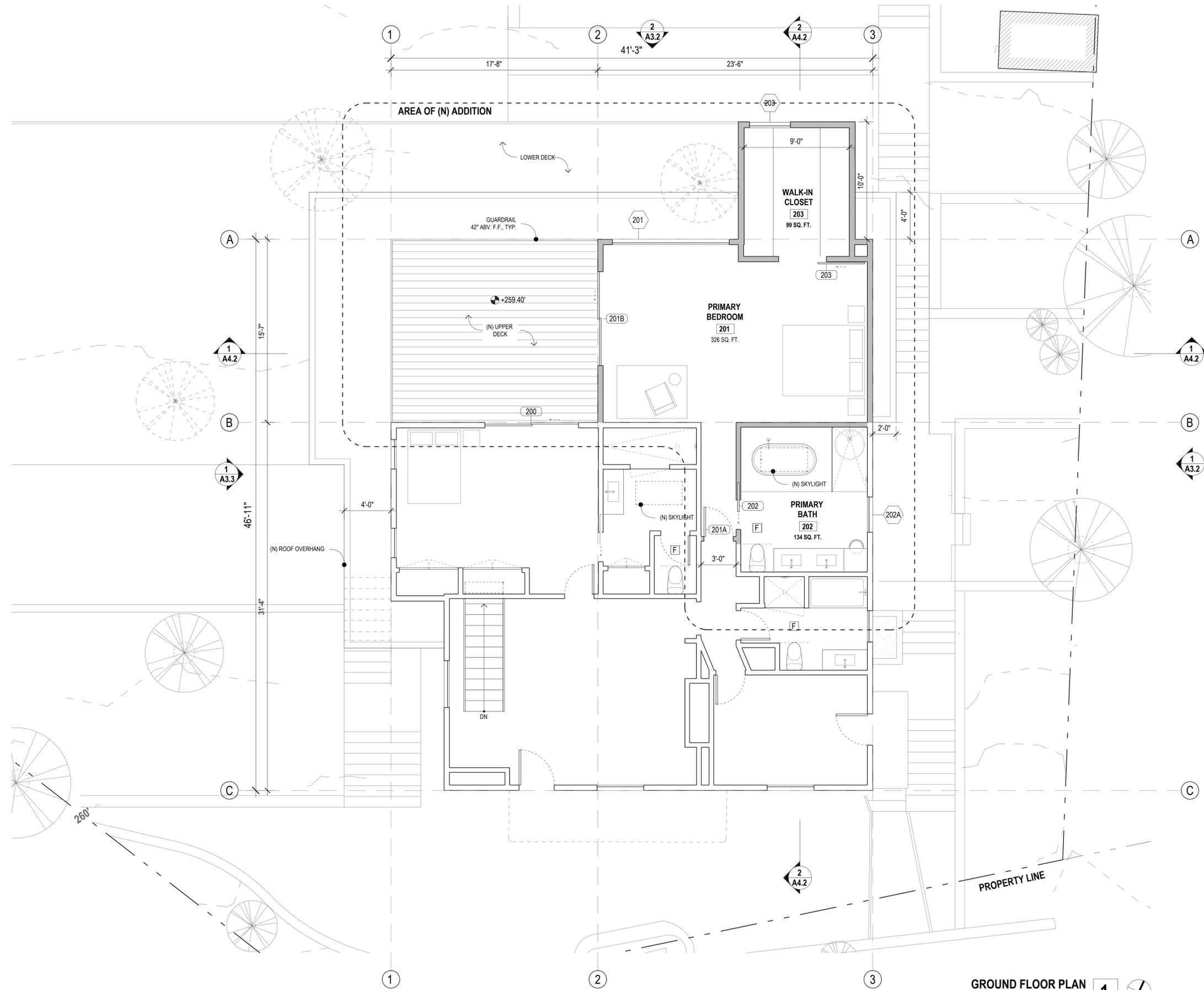
**PROJECT**  
**FANG/JIANG ADDITION**  
 180 LAKEVIEW WAY  
 REDWOOD CITY, CA 94062

ISSUES & REVISIONS	
NO.	DATE
	01/15/2021
Δ	05/10/2021

DESCRIPTION	
PLANNING PERMIT SUBMITTAL	
1st PLANNING COMMENTS	

**EXISTING ROOF PLAN**  
 DATE: 5/11/2021  
 SCALE: 1/4"=1'-0"  
 DRAWING BY: YZ  
 CHECKED BY: PS

**A2.2**



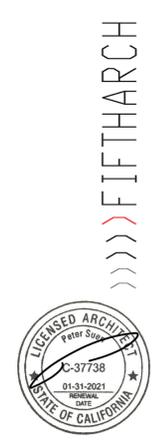
**GROUND FLOOR PLAN** 1  
SCALE: 1/4" = 1'-0"

**SHEET NOTES:**

1. ALL NEW WINDOWS AND GLASS DOORS SHALL BE DOUBLE PANED, INSULATED W/ MAX U-VALUES AS STATED ON THE CALIFORNIA TITLE-24 REPORT. TEMP. MFGR LABELS SHOWING NEW GLAZING U-VALUES SHALL NOT BE REMOVED UNTIL BLDG. INSPECTOR AUTHORIZES TO DO SO.
2. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FT. ABV. THE FLOOR PER CRC R307.2.

**LEGEND**

- EXISTING WALL / ELEMENT TO REMAIN
- - - EXISTING WALL / ELEMENT TO REMOVE
- ▬ (N) PROPOSED WALL
- ▬ (N) 1-HR PROPOSED WALL
- [F] FAN (PER 2013 CGC §4.506)



PROJECT  
**FANG/JIANG ADDITION**  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

ISSUES & REVISIONS	
NO.	DATE
	01/15/2021
Δ	05/10/2021

DESCRIPTION  
PLANNING PERMIT SUBMITTAL  
1st PLANNING COMMENTS

**GROUND FLOOR PLAN**

DATE: 5/11/2021  
SCALE: 1/4" = 1'-0"

DRAWING BY: YZ  
CHECKED BY: PS



ISSUES & REVISIONS	
NO.	DESCRIPTION
1	PLANNING PERMIT SUBMITTAL
2	1st PLANNING COMMENTS

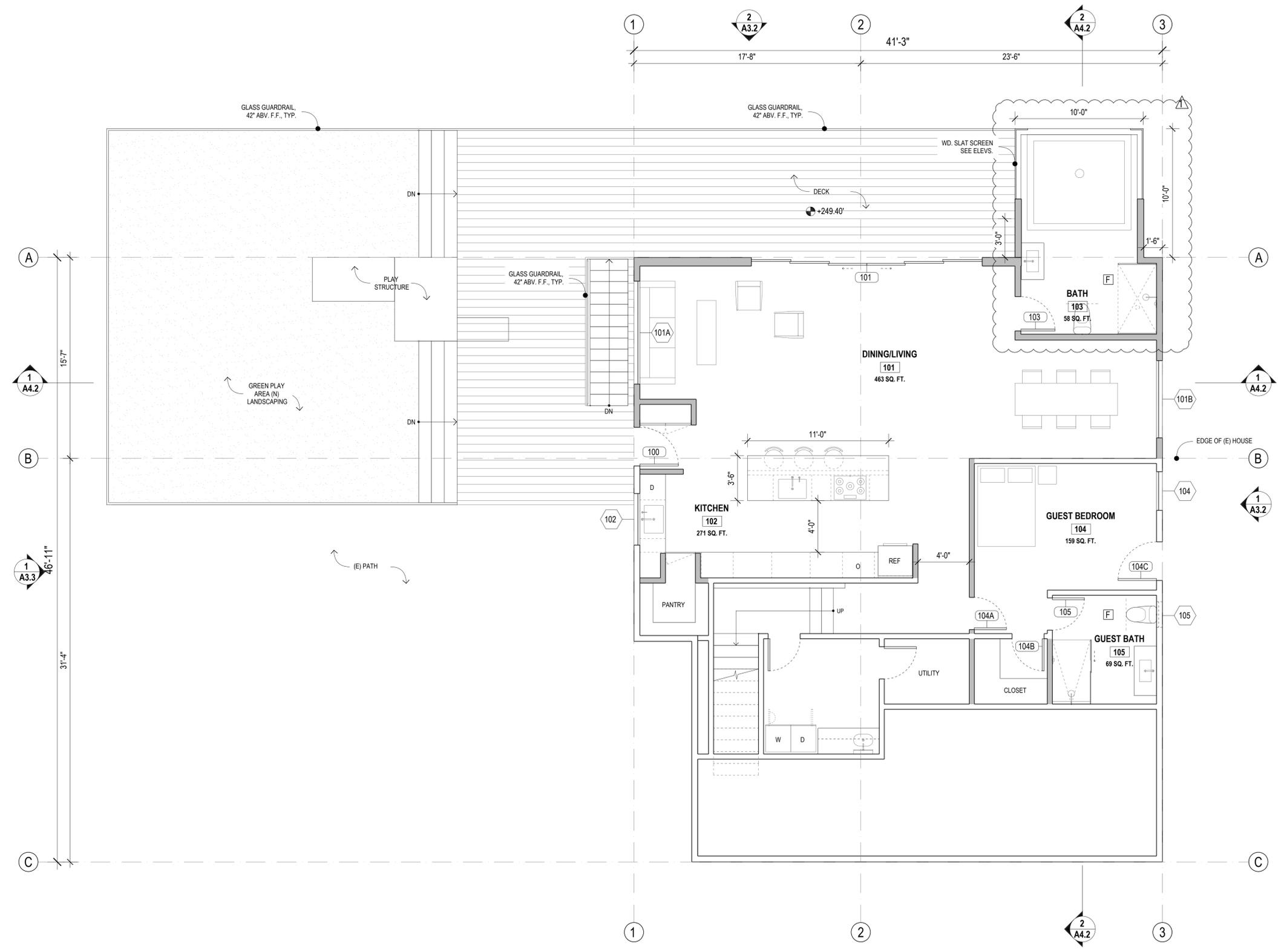
**LOWER FLOOR PLAN**

DATE: 5/11/2021  
 DRAWING BY: YZ  
 SCALE: 1/4" = 1'-0"

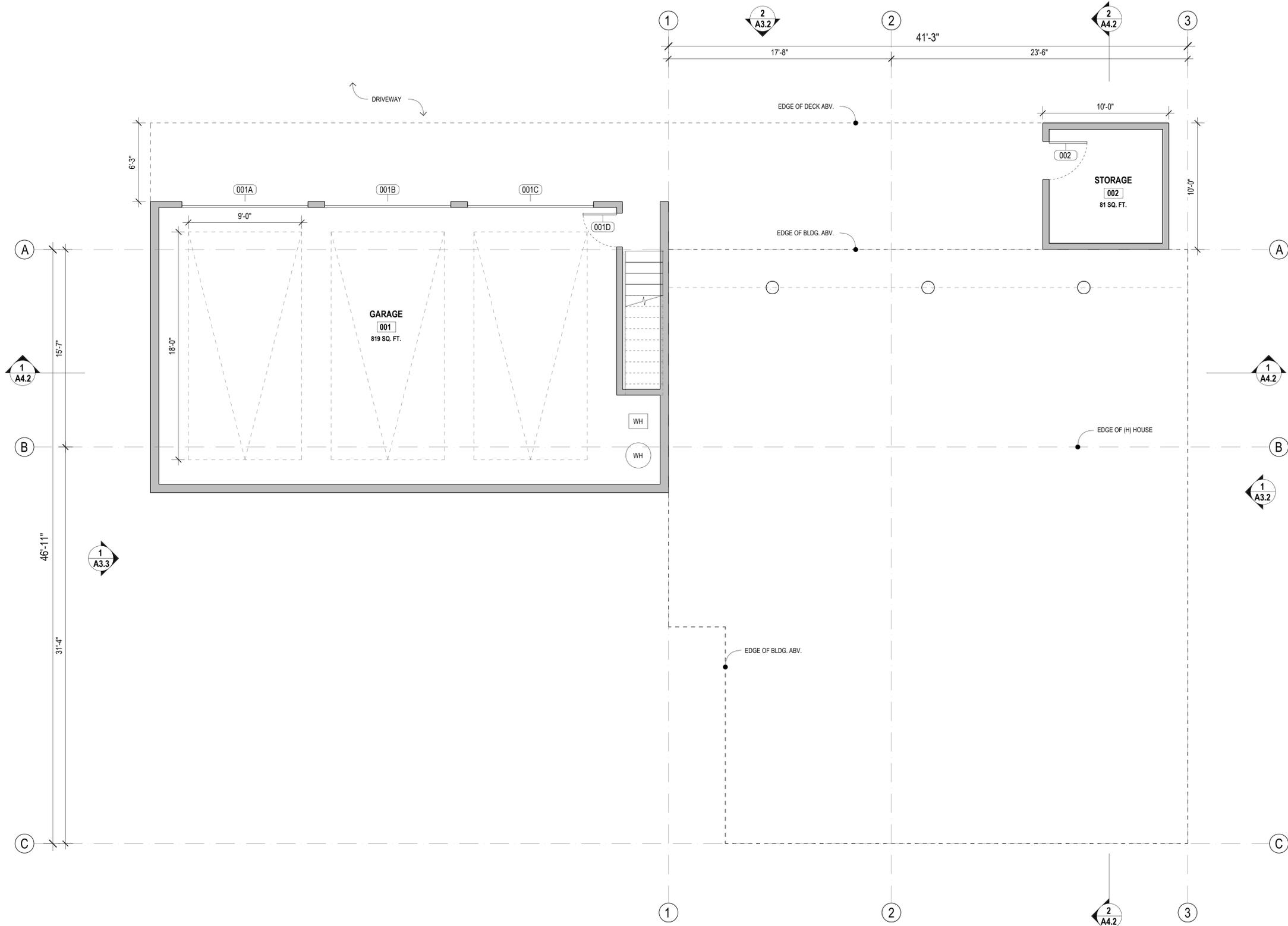
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- SHEET NOTES:**
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  - SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FT. ABV. THE FLOOR PER CRC R307.2.

- LEGEND**
- EXISTING WALL / ELEMENT TO REMAIN
  - - - EXISTING WALL / ELEMENT TO REMOVE
  - ▬ (N) PROPOSED WALL
  - ▬ (N) 1-HR PROPOSED WALL
  - [F] FAN (PER 2013 CGC §4.506)



**LOWER FLOOR PLAN** **1**  
 SCALE: 1/4" = 1'-0"



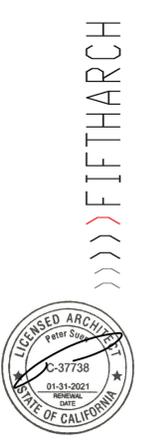
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**LEGEND**

- EXISTING WALL / ELEMENT TO REMAIN
- - - EXISTING WALL / ELEMENT TO REMOVE
- ▬ (N) PROPOSED WALL
- ▬ (N) 1-HR PROPOSED WALL
- Ⓜ FAN (PER 2013 CGC §4.506)

**LOWER GARAGE PLAN**  
SCALE: 1/4" = 1'-0" **1**



**PROJECT**  
FANG/JIANG ADDITION  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

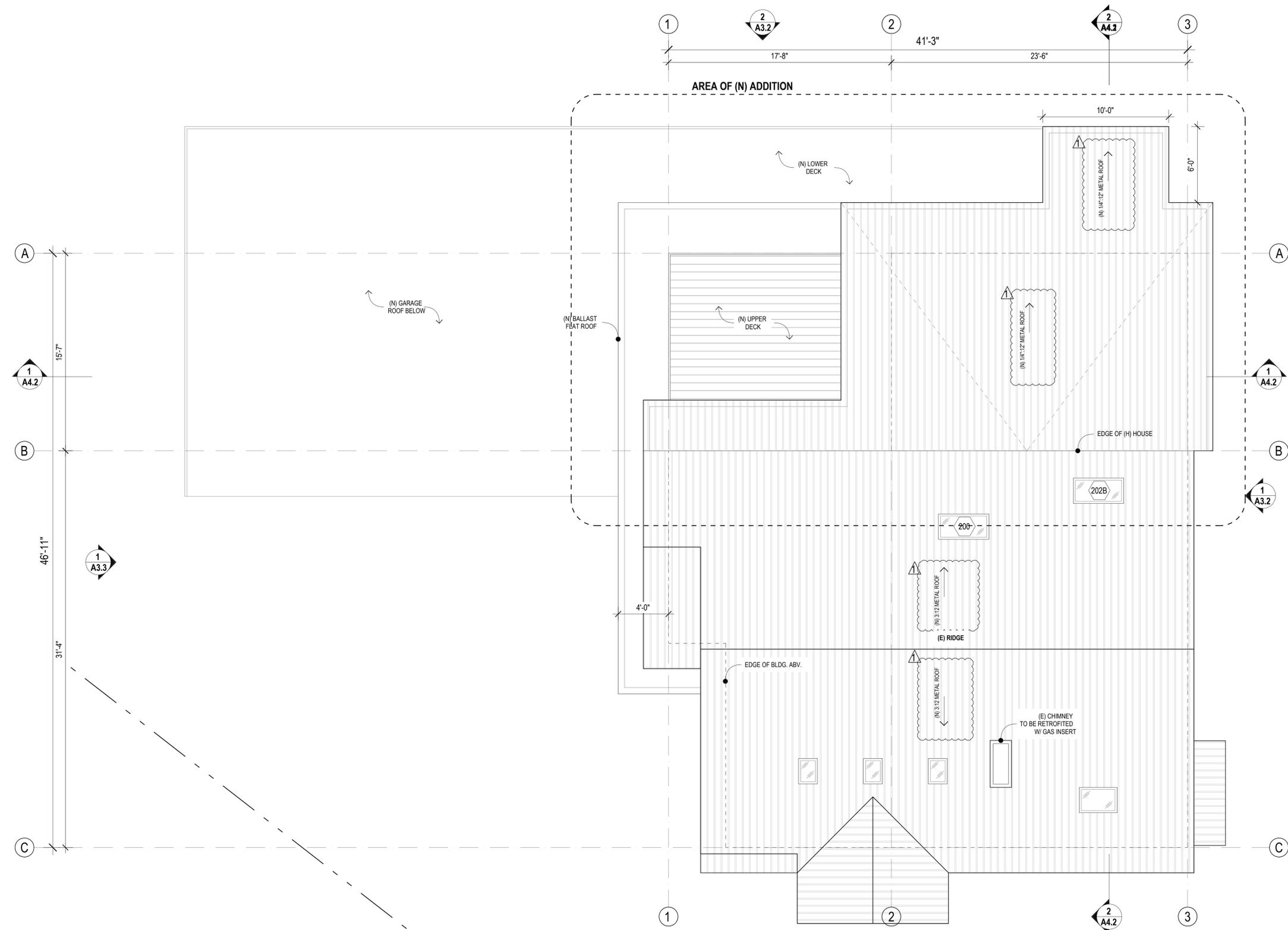
ISSUES & REVISIONS	
NO.	DATE
	01/15/2021
Δ	05/10/2021

**LOWER GARAGE PLAN**

DATE: 5/11/2021  
SCALE: 1/4"=1'-0"

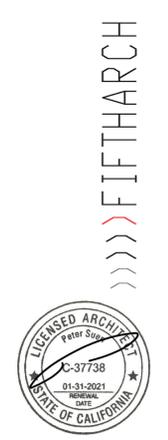
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**A2.5**



- SHEET NOTES:**
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  2. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FT. ABV. THE FLOOR PER CRC R307.2.

- LEGEND**
- EXISTING WALL / ELEMENT TO REMAIN
  - - - EXISTING WALL / ELEMENT TO REMOVE
  - ▨ (N) PROPOSED WALL
  - ▨ (N) 1-HR PROPOSED WALL
  - Ⓜ FAN (PER 2013 CGC §4.506)



PROJECT  
**FANG/JIANG ADDITION**  
 180 LAKEVIEW WAY  
 REDWOOD CITY, CA 94062

ISSUES & REVISIONS	
NO.	DATE
1	01/15/2021
2	05/10/2021

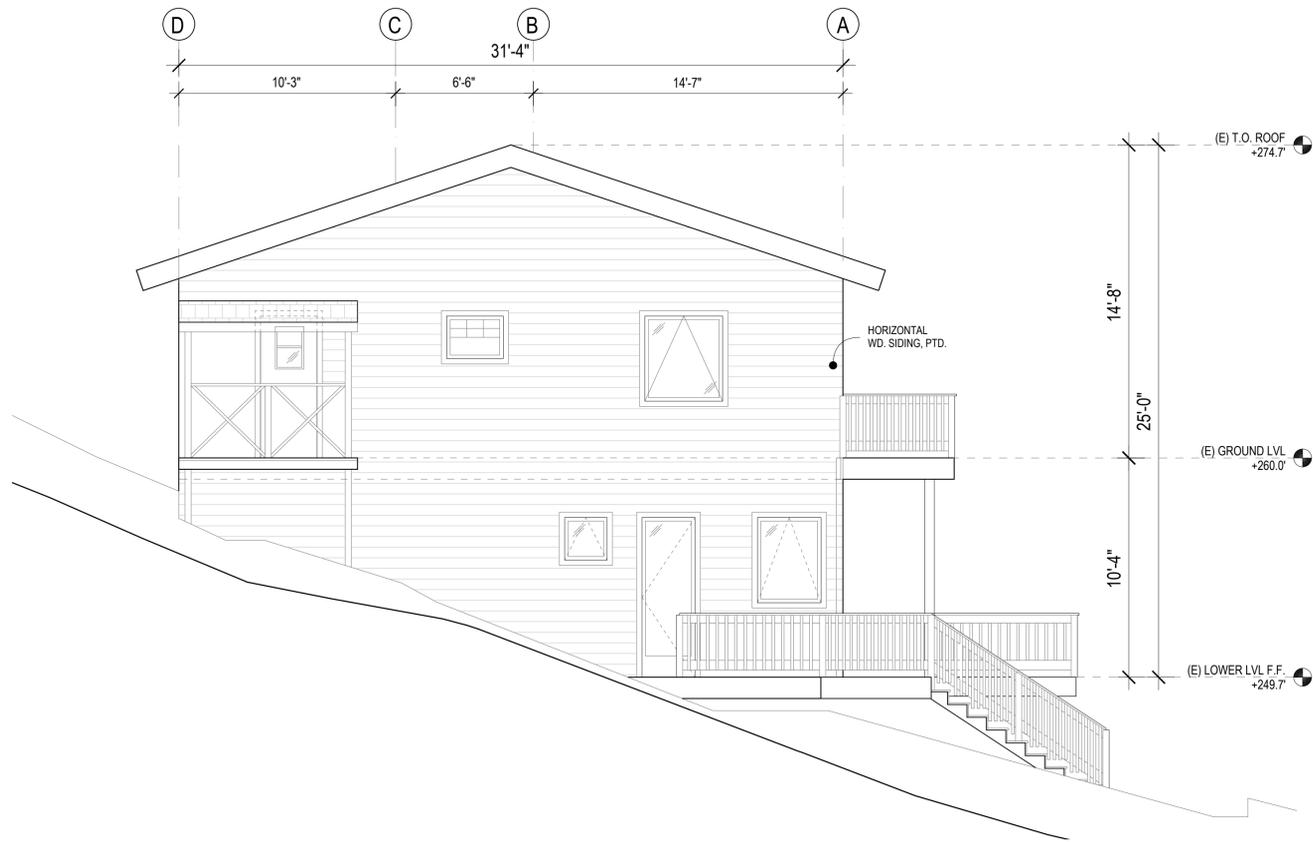
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DESCRIPTION  
 PLANNING PERMIT SUBMITTAL  
 1st PLANNING COMMENTS

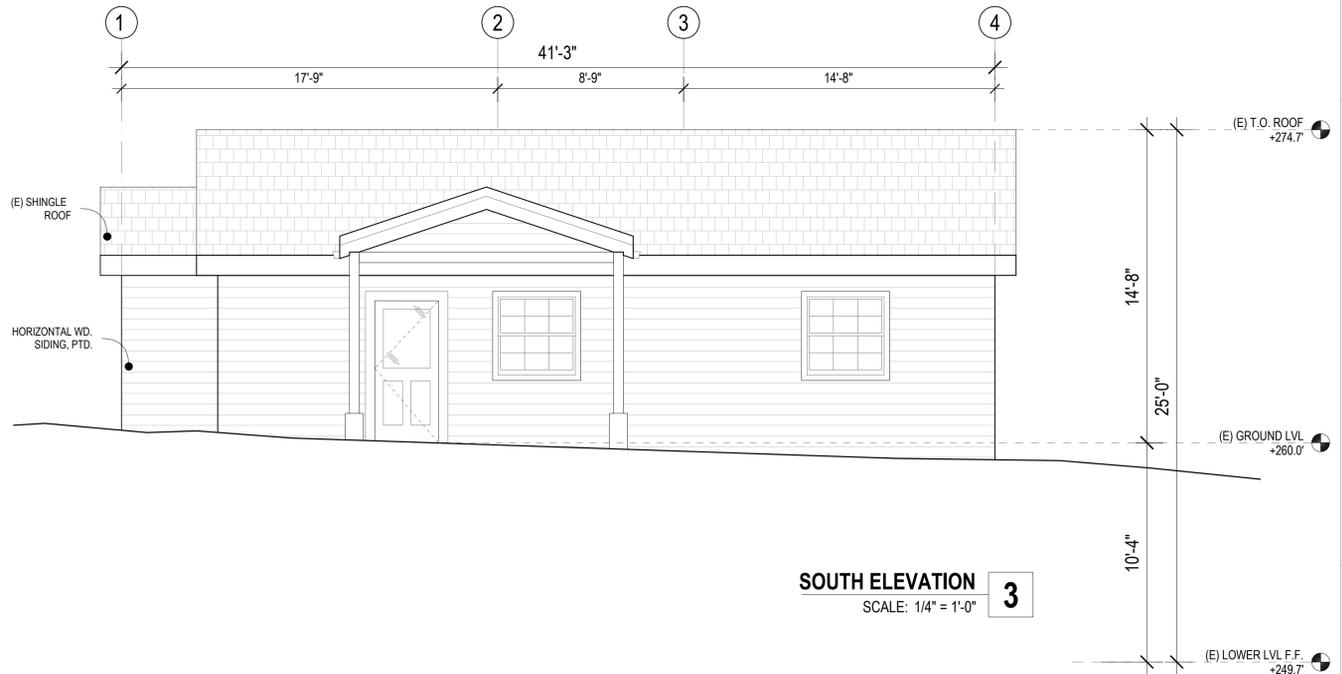
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 CHECKED BY: PS

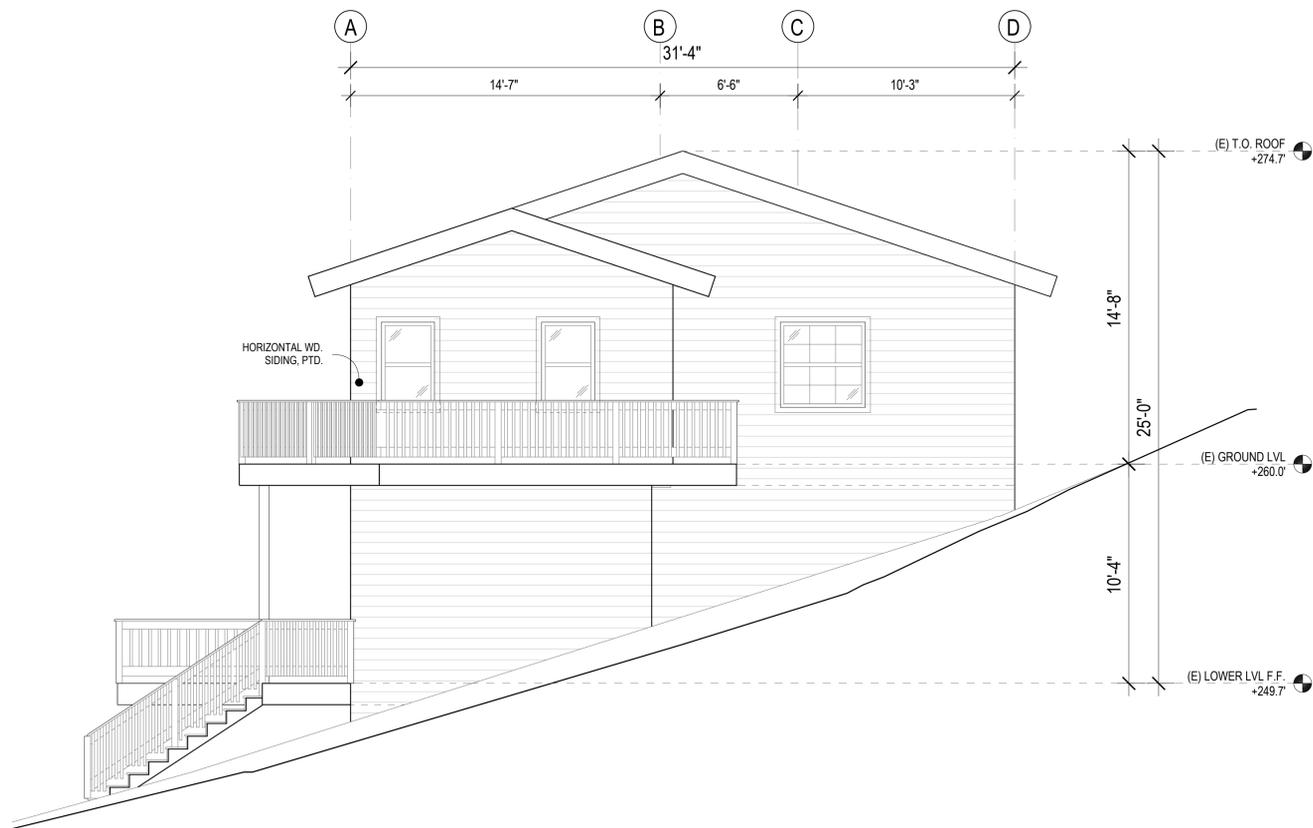
**PROPOSED ROOF PLAN** 1  
 SCALE: 1/4" = 1'-0"



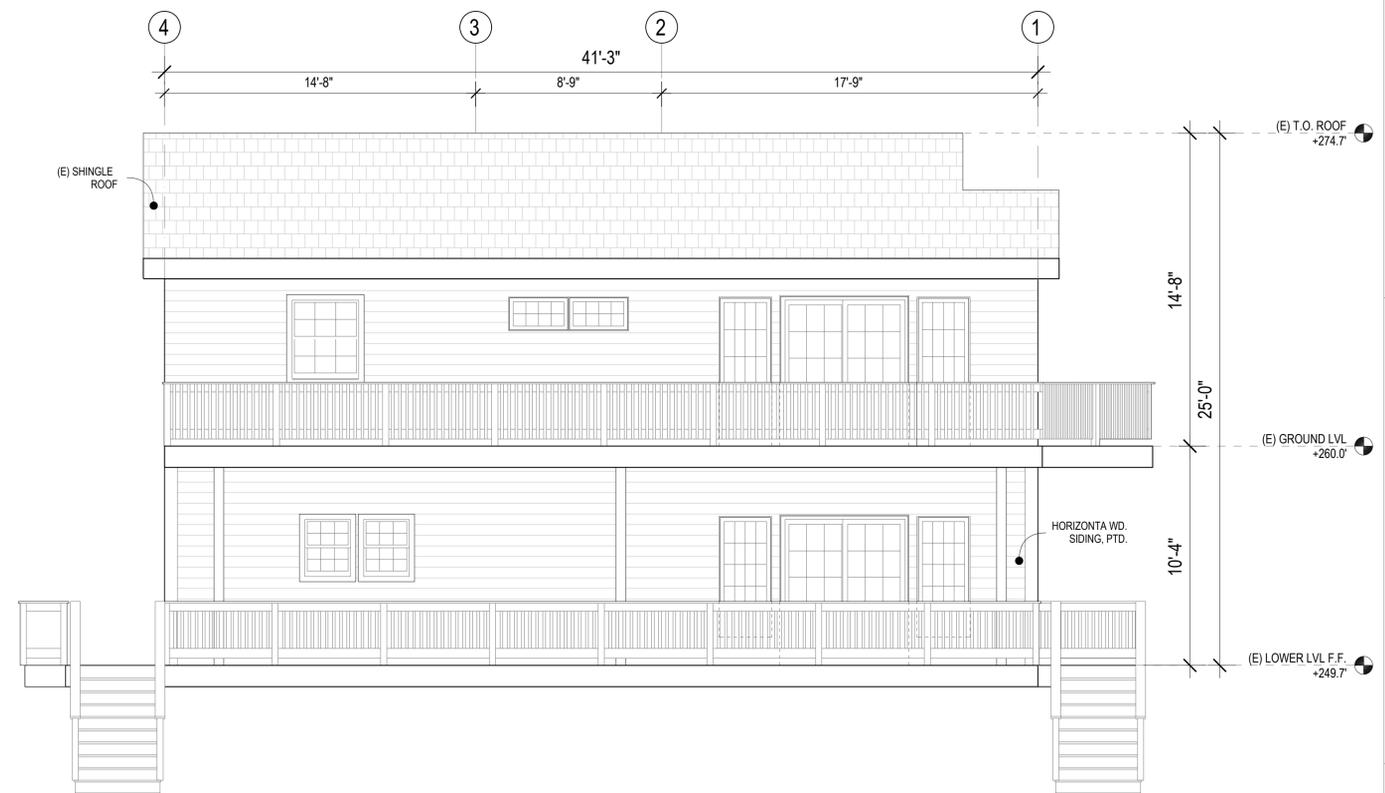
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0" **4**



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0" **3**



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0" **2**



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0" **1**

**SHEET NOTES:**

1. ALL NEW WINDOWS AND GLASS DOORS SHALL BE DOUBLE PANED, INSULATED W/ MAX U-VALUES AS STATED ON THE CALIFORNIA TITLE-24 REPORT. TEMP. MFGR LABELS SHOWING NEW GLAZING U-VALUES SHALL NOT BE REMOVED UNTIL BLDG. INSPECTOR AUTHORIZES TO DO SO.

**LEGEND**

EGRESS WINDOW, MAX 44" ABV. F.F., 20" MIN. CLEAR WIDTH & 24" MIN. NET CLEAR OPENING HEIGHT

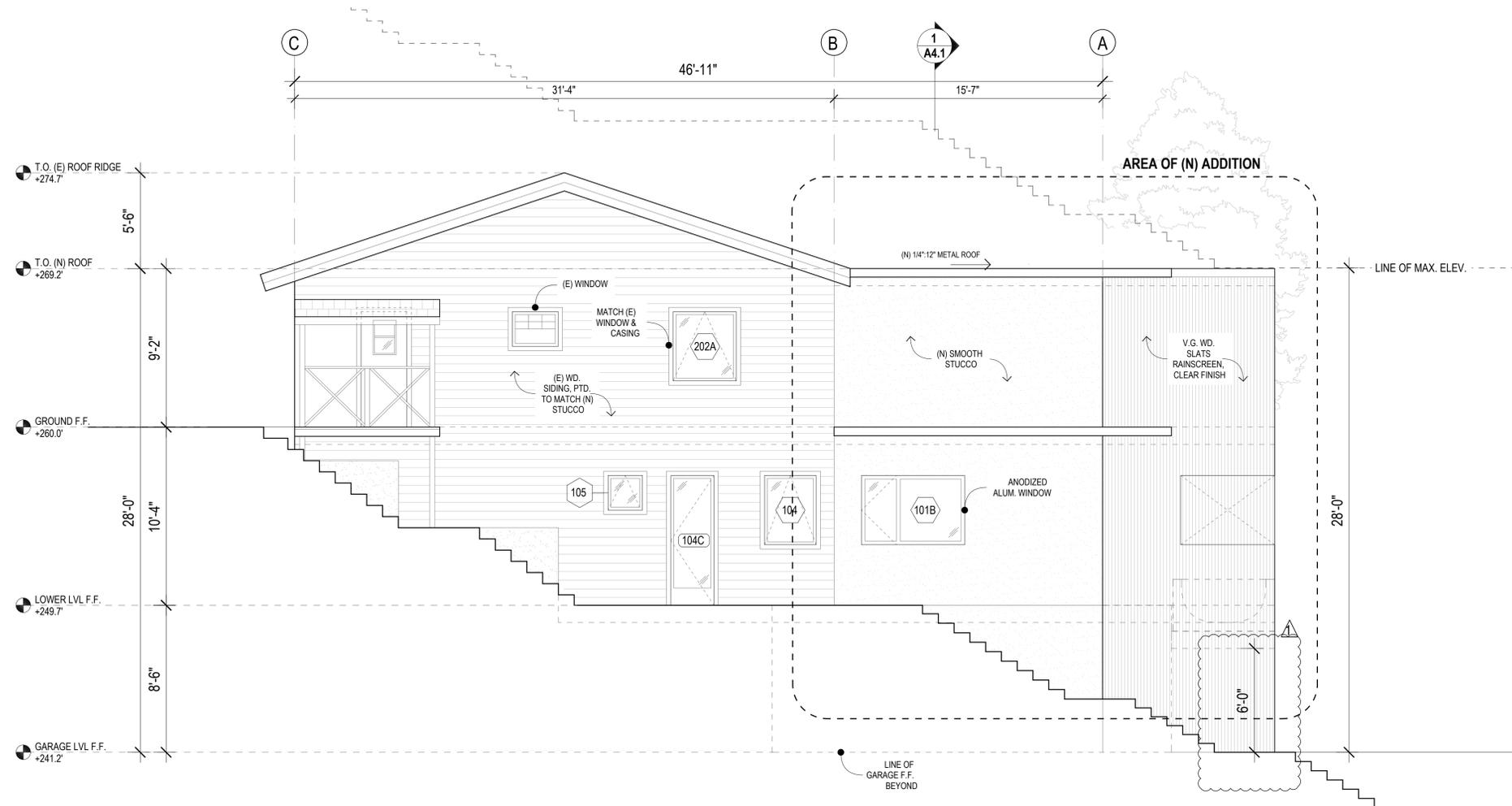


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REDWOOD CITY, CA 94062

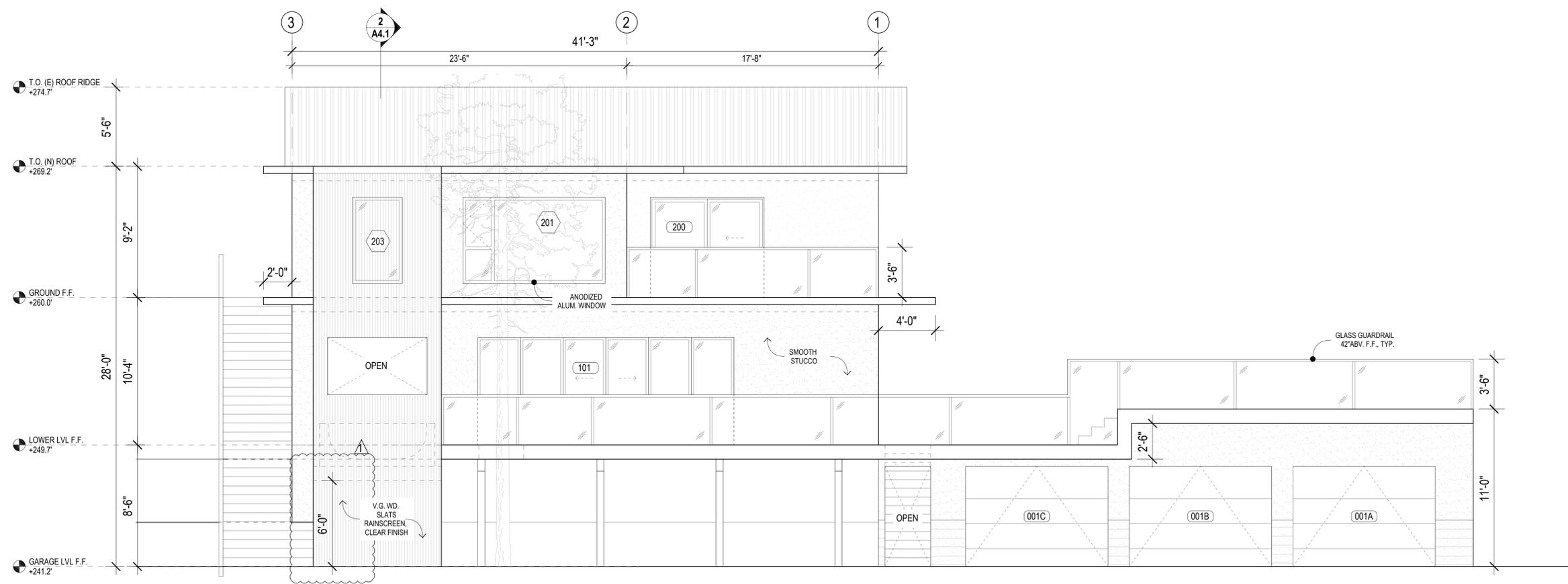
ISSUES & REVISIONS	NO.	DATE	DESCRIPTION
		01/15/2021	PLANNING PERMIT SUBMITTAL
	A	05/10/2021	1st PLANNING COMMENTS

**EXISTING BUILDING ELEVATIONS**

DATE: 5/11/2021  
SCALE: AS NOTED  
DRAWING BY: YZ  
CHECKED BY: PS



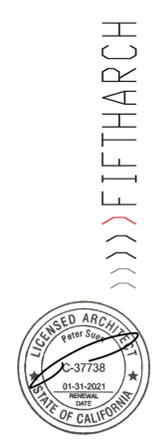
**EAST ELEVATION** 1  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION** 2  
SCALE: 1/4" = 1'-0"

**SHEET NOTES:**  
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**LEGEND**  
EGRESS WINDOW, MAX 44" ABV. F.F., 20" MIN. CLEAR WIDTH & 24" MIN. NET CLEAR OPENING HEIGHT



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FANG/JIANG ADDITION  
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ISSUES & REVISIONS		DESCRIPTION
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1	01/15/2021	1st PLANNING COMMENTS
2	05/10/2021	

**BUILDING ELEVATIONS**  
DATE: 9/20/2021  
SCALE: AS NOTED  
DRAWING BY: YZ  
CHECKED BY: PS

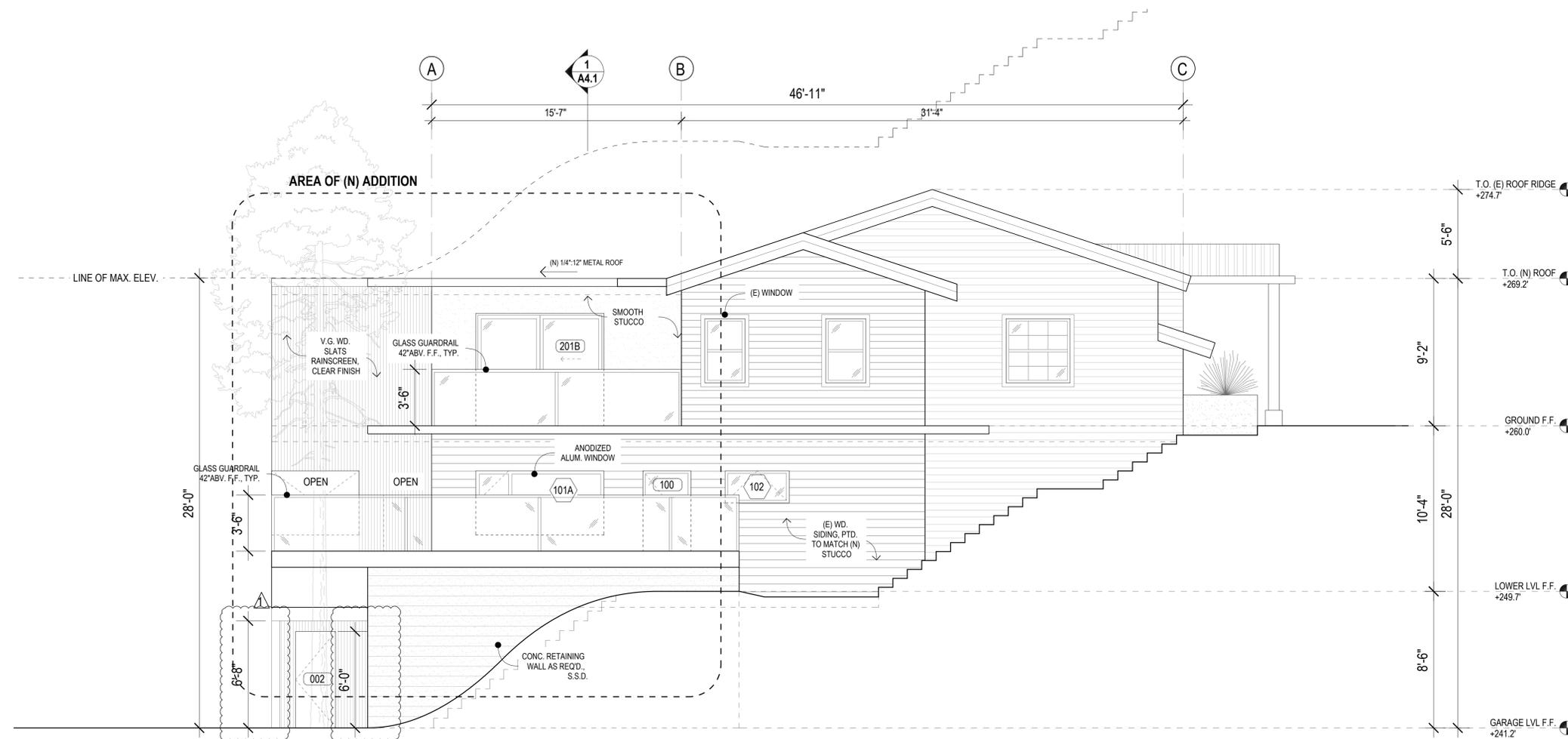
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**SHEET NOTES:**

1. ALL NEW WINDOWS AND GLASS DOORS SHALL BE DOUBLE PANED, INSULATED W/ MAX U-VALUES AS STATED ON THE CALIFORNIA TITLE-24 REPORT. TEMP. MFGR LABELS SHOWING NEW GLAZING U-VALUES SHALL NOT BE REMOVED UNTIL BLDG. INSPECTOR AUTHORIZES TO DO SO.

**LEGEND**

EGRESS WINDOW, MAX 44" ABV. F.F., 20" MIN. CLEAR WIDTH & 24" MIN. NET CLEAR OPENING HEIGHT



**WEST ELEVATION** 1  
SCALE: 1/4" = 1'-0"



**PROJECT**  
FANG/JIANG ADDITION  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

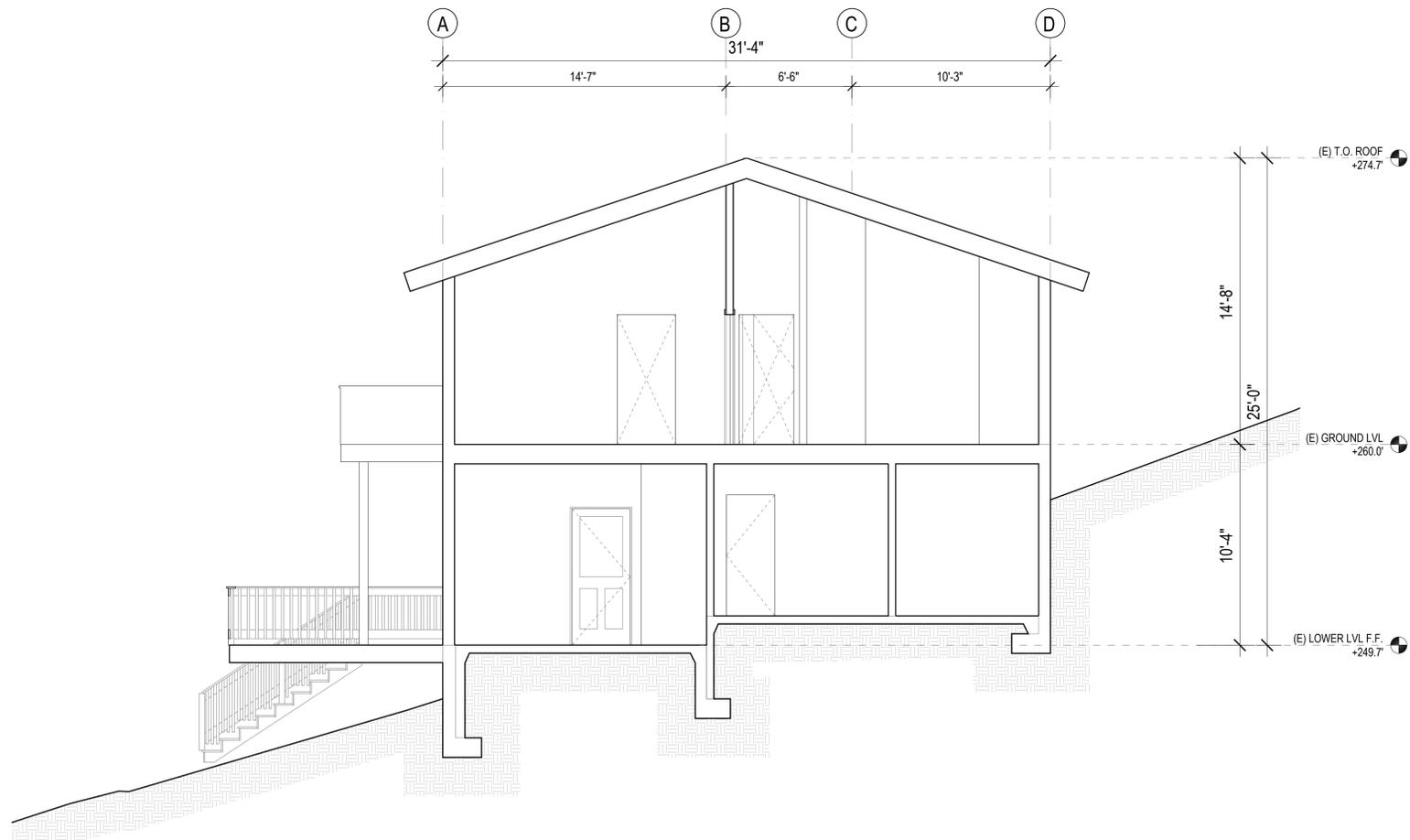
ISSUES & REVISIONS	
NO.	DATE
	01/15/2021
Δ	05/10/2021

DESCRIPTION	
PLANNING PERMIT SUBMITTAL	1st PLANNING COMMENTS

**BUILDING ELEVATION**

DATE: 9/20/2021  
SCALE: AS NOTED

DRAWING BY: YZ  
CHECKED BY: PS



**EXISTING BUILDING SECTION 1**  
SCALE: 1/4" = 1'-0"

**EXISTING BUILDING SECTIONS**

**ISSUES & REVISIONS**

NO.	DATE	DESCRIPTION
1	01/15/2021	PLANNING PERMIT SUBMITTAL
2	05/10/2021	1st PLANNING COMMENTS

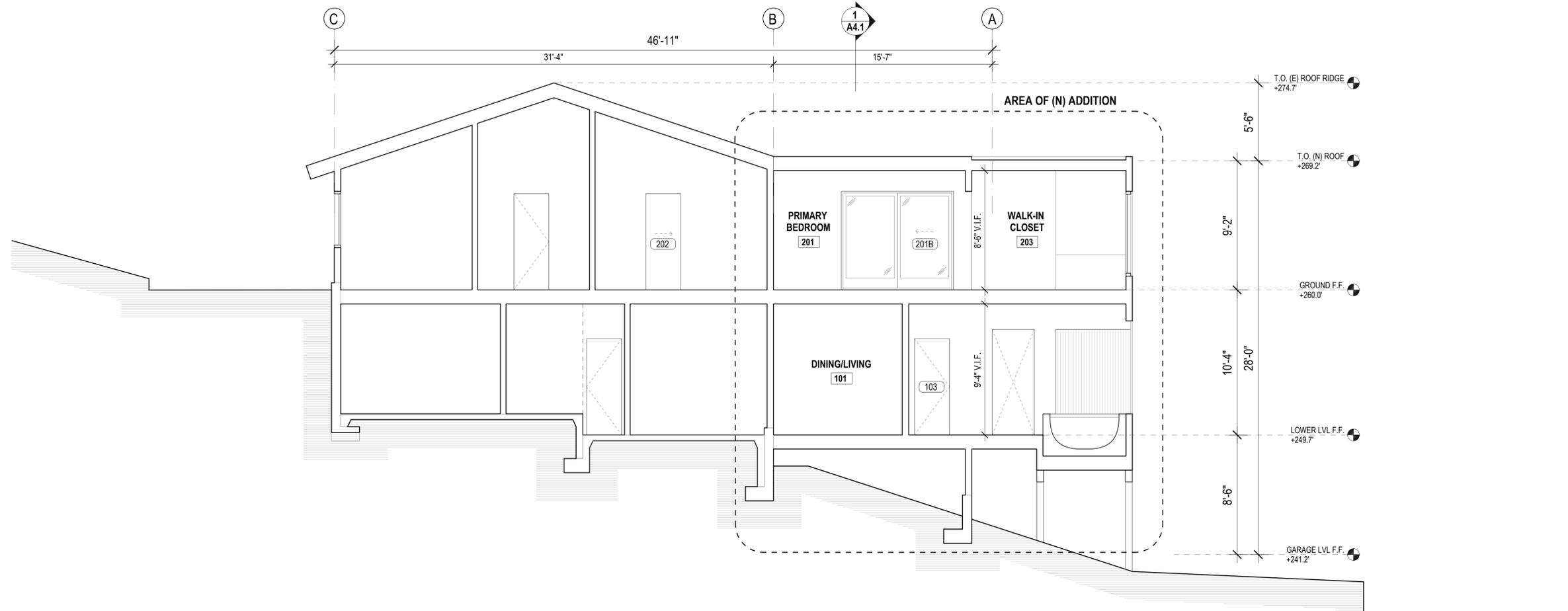
**PROJECT**

**FANG/JIANG ADDITION**  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

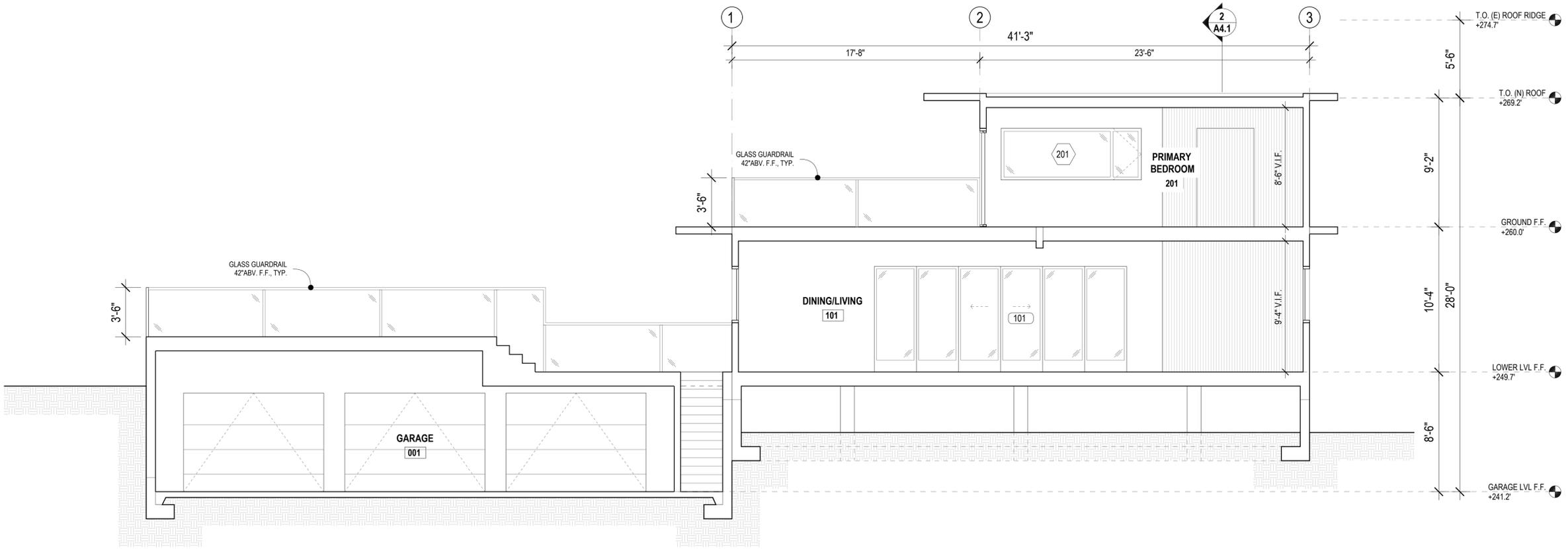


**A4.1**

DATE: 5/11/2021  
SCALE: AS NOTED  
DRAWING BY: YZ  
CHECKED BY: PS



**PROPOSED LONG SECTION 2**  
SCALE: 1/4" = 1'-0"



**PROPOSED LONG SECTION 1**  
SCALE: 1/4" = 1'-0"

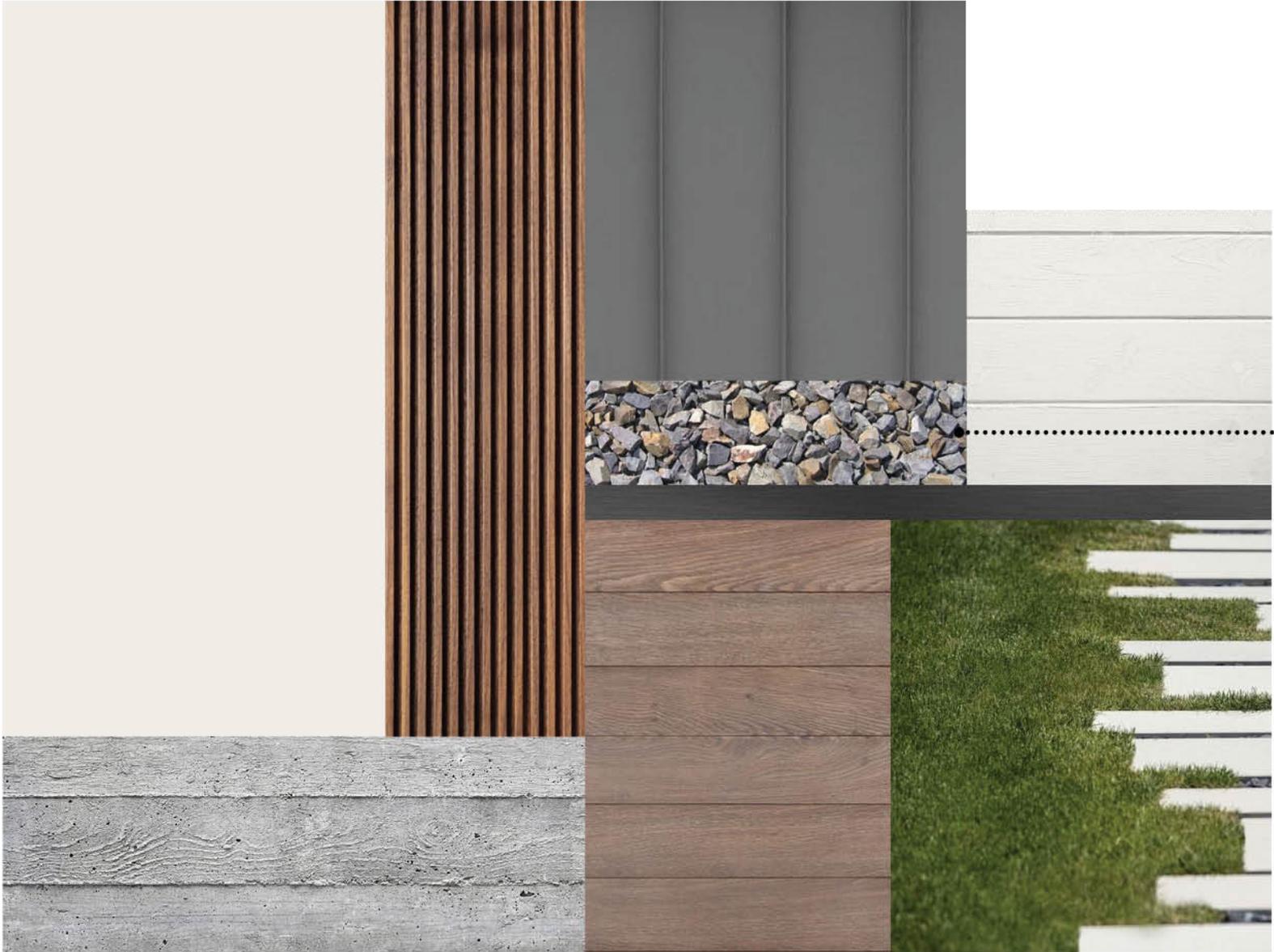
ISSUES & REVISIONS	
NO.	DATE
	01/15/2021
Δ	05/10/2021

BUILDING SECTIONS	
DESCRIPTION	DATE
PLANNING PERMIT SUBMITTAL	01/15/2021
1st PLANNING COMMENTS	05/10/2021

Smooth Stucco painted  
Benjamin Moore, Moonshine OC-56

Timber Slats  
Wall Cladding

Standing Seam Metal  
Roof, Painted



Wood Siding  
Painted  
Benjamin Moore,  
Moonshine  
OC-56

Rock Ballast  
Roof

Matt Aluminum

Board Form Concrete

Wood Planks Deck

Permeable Grass Pavement

# GRADING PLAN

## FANG/JIANG ADDITION

### 180 Lakeview Way, Redwood City, CA

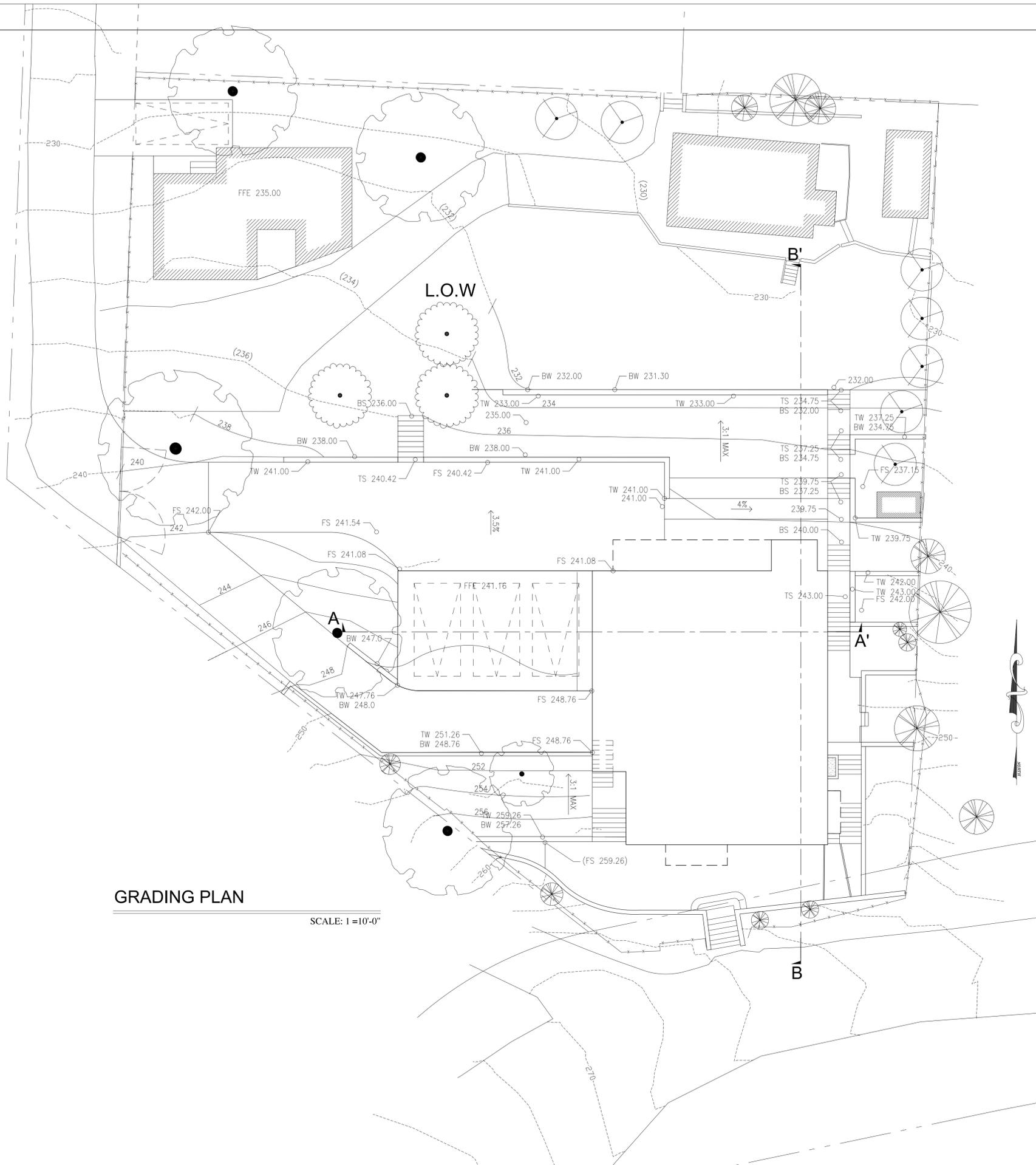
#### GRADING NOTES

1. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
2. ALL GRADING SHALL CONFORM TO CITY OF SAN LEANDRO ORDINANCE.
3. ALL GRADING OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE CIVIL ENGINEER AND ARE SUBJECT TO HIS OBSERVATION. THE CIVIL ENGINEER SHALL CERTIFY GRADING OPERATIONS FOR CONFORMANCE TO THE APPROVED PLAN.
4. THE CONTRACTOR IS TO BE FAMILIAR WITH THE SOILS REPORT ENTITLED " GEOTECHNICAL INVESTIGATION , RESIDENTIAL EXPANSION AND ADU, 180 LAKEVIEW WAY, REDWOOD CITY, CA 94062" PREPARED BY GEOTRINITY CONSULTANTS, INC. DATED DECEMBER 17, 2020.
5. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES NOT SHOWN AT THE SITE.
6. PADS MUST BE GRADED WITHIN 0.1+ OF PROPOSED SUBGRADE ELEVATIONS.
7. ALL ORGANIC MATERIAL, INCLUDING GRASS & WEEDS SHALL BE STRIPPED PRIOR TO ANY GRADING OPERATION AND TRANSPORTED AWAY FROM AREAS THAT ARE TO RECEIVE STRUCTURE OR ENGINEERED FILL. STRIPPING SHALL BE USED FOR LANDSCAPING, MOUNDING, AND OR BLENDING AND USED AS A FILL IN NON-STRUCTURAL AREAS.
8. GRADING SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES AND A DUST PALLIATIVE MAY BE REQUIRED BY THE CITY INSPECTOR. ANY OPERATION THAT CREATED DUST SHALL CEASE IMMEDIATELY UNTIL SUFFICIENT MEASURES SATISFACTORY TO THE CITY HAVE BEEN TAKEN TO INSURE COMPLIANCE WITH THE DUST CONTROL.
9. DUST SHALL BE KEPT DOWN BY WATERING WHICH SHALL BE ACCOMPLISHED BY A WATERING TRUCK ON SITE OR FROM HYDRANTS ON SITE.
10. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, (800) 642-2444, 48 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
11. IF PAVING AND STORM DRAIN IMPROVEMENT ARE NOT COMPLETED BY OCTOBER 1ST TEMPORARY SILT AND DRAINAGE CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN EROSION - CAUSED SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORM WATERS INTO EXISTING STORM WATER FACILITIES. DESIGN OF THESE FACILITIES MUST BE APPROVED BY THE CITY.
12. PRIOR TO GRADING OR CONSTRUCTION, ALL TREES TO REMAIN SHALL BE IDENTIFIED WITH NON-PERMANENT MARKING AND ALL TREE PROTECTION MEASURES SHALL BE IN PLACE. THIS SHALL BE CERTIFIED BY THE LANDSCAPE ARCHITECT OR THE ARBORIST DURING CLEARING AND GRADING OF THE SITE. THE LANDSCAPE ARCHITECT OR THE ARBORIST SHALL BE PRESENT TO MONITOR THE REMOVAL OF TREES AND COMPLIANCE WITH THE REQUIREMENTS OF THE TREE PRESERVATION PLAN.
13. ALL CONSTRUCTION SHALL BE LIMITED TO TAKE PLACE BETWEEN THE HOURS OF 8:00 A.M. AND 5:00 P.M., MONDAY THROUGH FRIDAY, EXCEPT AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS.
14. ALL UTILITY SERVICES TO THE NEW BUILDINGS SHALL BE PLACED UNDERGROUND FROM THE APPROPRIATE UTILITY POLE OR SERVICE POINTS. ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH CITY STANDARD DETAILS AND SPECIFICATIONS.
15. A SEWER CLEANOUT AT THE PROPERTY LINE SHALL BE INSTALLED.
16. SHORING SHOP DESIGN IF REQUIRED IS DEFERRED APPROVAL TO BE PREPARED BY SHORING SPECIALIST OR CONTRACTOR.

EARTHWORK (ESTIMATED)	
ITEM	QUANTITY (cubic yard)
CUT VOLUME	180
FILL VOLUME	<10
BANK VOLUME = (CUT+FILL) x 1.2	230

#### CIVIL SHEET INDEX

- C1 GRADING PLAN
- C2 DRAINAGE PLAN
- C3 EROSION CONTROL PLAN
- C4 SECTIONS
- C5 DETAILS



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No. REV1: 03/04/2021 Date

Project Name and Address  
**FANG/JIANG ADDITION**  
 180 Lakeview Way  
 Redwood City, CA 94062

Sheet Title  
**GRADING PLAN**

Project	GE 2730	Sheet	
Date	12/22/2020		C1
Scale			

# DRAINAGE PLAN

## FANG/JIANG ADDITION

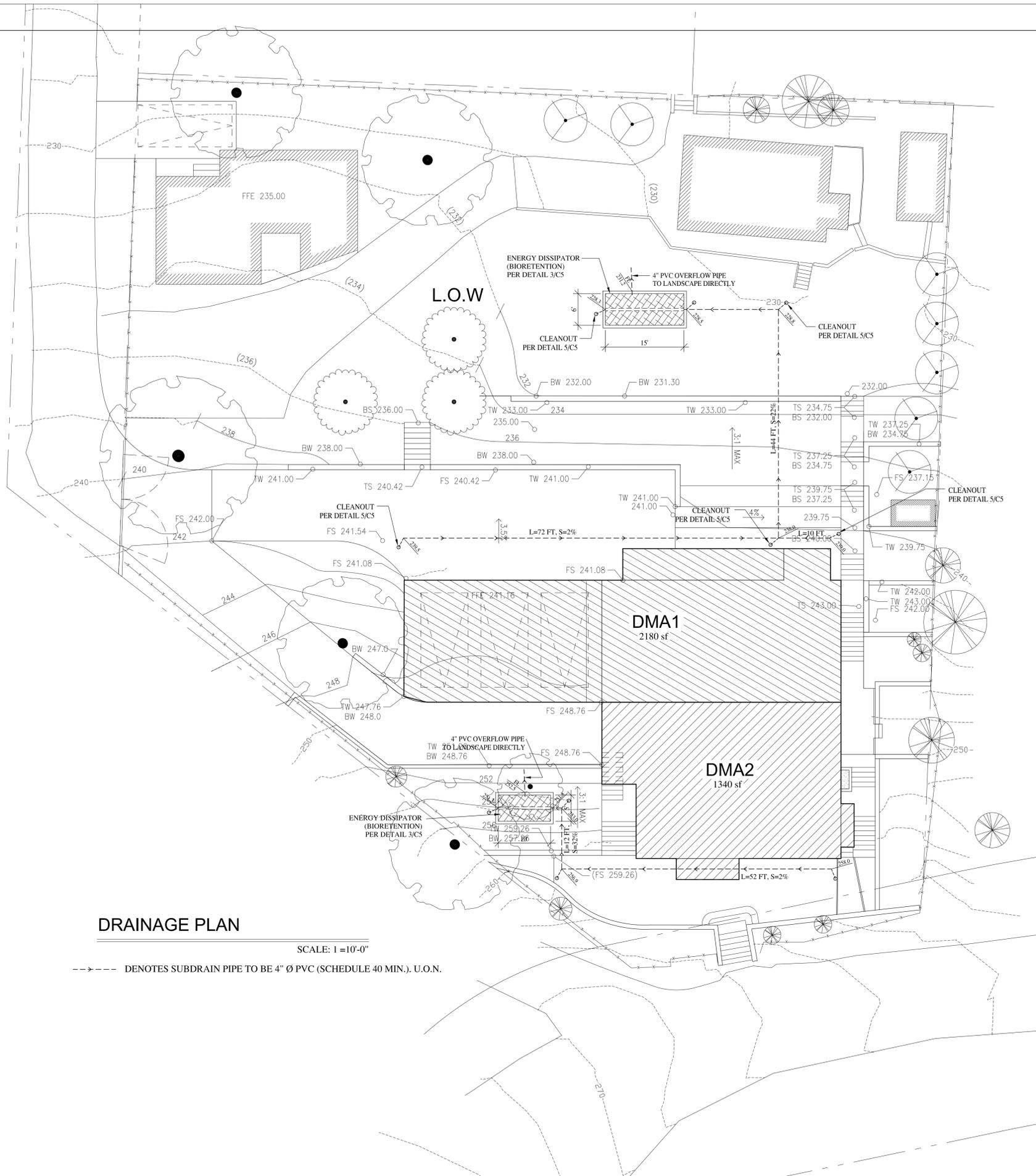
### 180 Lakeview Way, Redwood City, CA

#### GENERAL NOTES

- ALL DISTURBED SLOPES SHALL BE LANDSCAPED TO PREVENT SOIL EROSION. SLOPES (1:1 MAXIMUM ALLOWABLE) SHALL BE JUTE MATTED PRIOR TO GROUND COVER PLANTING. APPROVAL EQUAL "GEO-FABRIC" SHOULD BE USED IN LIEU OF JUTE MATTING.
- LOW PRECIPITATION IRRIGATION HEADS SHALL BE USED TO MINIMIZE WATER RUNOFF AND WATER USAGE. ALL DOWNSPOUTS, SITE AREA DRAINS AND CATCH BASINS AS SHOWN ON SITE PLAN SHALL BE COLLECTED WITH DRAINAGE SYSTEMS & ROUTED TO STREET OR "V" DITCH AS SHOWN ON PLAN. MIN. SLOPE OF PIPE TO BE 1/4" PER FOOT. INVERTS @ AREA DRAINS PRIX. 1'-0" BELOW ELEVATION SHOWN.
- ALL RETAINING WALLS SHALL HAVE DRAINAGE WITH 4" PERFORATED RIGID WALL STYRENE AND COLLECTED WITH RIGID WALL STYRENE. MIN. SLOPE OF PIPE TO BE 1/4" PER FOOT.
- A POSITIVE GRADIENT SHALL BE PROVIDED AWAY FROM THE FOUNDATION TO AN ADEQUATE DISCHARGE POINT. GRADING SHALL ENSURE DRAINAGE DOES NOT CROSS PROPERTY LINES. SLOPE SHALL NOT BE LESS THAN 5% FOR A DISTANCE OF 5 FEET FROM THE STRUCTURE. NO POUNDING OF WATER SHALL BE ALLOWED ON THE PAD OR ADJACENT TO THE FOUNDATION. SLOPE BEYOND 5 FEET FROM THE FOUNDATION SHALL BE A MINIMUM OF 1%. ALL GRADING ON THIS SITE TO COMPLY WITH SOILS ENGINEER RECOMMENDATIONS FROM THE SOILS REPORT LISTED ON COVER SHEET.
- CONSTRUCTION ACTIVITIES, EXCEPT FOR GRADING, SHALL BE LIMITED TO THE FOLLOWING HOURS: 7 A.M. TO 5:30 P.M. MONDAY THROUGH FRIDAY AND 9 A.M. TO 6 P.M. SATURDAY AND SUNDAY.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER &/ OR DESIGNER CAN NOT ASSUME RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT ARE NOT SHOWN ON THESE DRAWINGS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES. PROVIDE 6" MINIMUM BETWEEN PIPES CROSSING ELECTRICAL LINES AND 12" MINIMUM BETWEEN PIPES PARALLEL TO ELECTRICAL LINES. WATER-PIPING NOT ALLOWED IN SAME TRENCH AS ELECTRICAL SERVICES CONDUIT. CONTRACTOR TO PROVIDE ADEQUATE DUST CONTROL AT ALL TIMES.
- DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO INSURE SAFETY OF ALL PERSONS AND STRUCTURES AT THE SITE AND ADJACENT TO THE SITE. OBSERVATION VISITS TO THE SITE BY THE ENGINEER OR CONSTRUCTION MANAGER SHALL NOT RELIEVE THE CONTRACTOR OF SUCH RESPONSIBILITY.

#### BEST MANAGEMENT PRACTICES AND STORMWATER POLLUTION PREVENTION NOTES:

- ALL WORK SHALL APPLY THE "BEST MANAGEMENT PRACTICES" (BMPs) FOR THE CONSTRUCTION INDUSTRY. IN ADDITION, THE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH, AND IMPLEMENT ALL STORMWATER QUALITY AND POLLUTION CONTROL MEASURES IN ACCORDANCE WITH CODE.
- PROTECT ADJACENT PROPERTIES FROM ALL STORM WATER OR SILT RUNOFF GENERATED BY ON-SITE CONSTRUCTION ACTIVITIES.
- GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS. STORE ALL CONSTRUCTION MATERIALS AND WASTE IN A COVERED AREA, OR UNDER A TARP. SWEEP WHERE POSSIBLE. DO NOT USE WATER TO WASH DOWN AREAS DRAINING TO STORM DRAINS. USE PROPER EQUIPMENT CLEANING, FUELING, AND MAINTENANCE PRACTICES.
- MINIMIZE CONSTRUCTION ACCESS POINTS TO THE SITE. PROVIDE A CONSTRUCTION ENTRANCE AT EACH ACCESS POINT. REMOVE ALL SILT, GRAVEL, RUBBISH, AND GREEN WASTE FROM THE STREET ADJOINING THE SITE PRIOR TO OCTOBER 1ST. PROVIDE REGULAR MAINTENANCE, WEEKLY OR AFTER STORM EVENTS, TO KEEP ACCESS POINTS CLEAN AND FREE OF DEBRIS. DURING WET WEATHER AVOID DRIVING OFF PAVED AREAS AND TRACKING MUD AND SILT ONTO PAVED AREAS.
- MINIMIZE REMOVAL OF ANY VEGETATION. STABILIZE ALL CLEARED AND DE-VEGETATED AREAS PRIOR TO OCTOBER 1ST. STABILIZATION SHOULD INCLUDE TEMPORARY OR PERMANENT RE-SEEDING, MULCHING, PROTECTIVE BERMS, SILT FENCES, PLASTIC COVERINGS OR ROCKING OF ROADS, AND SHOULD BE BASED ON ABAG EROSION CONTROL OR CALIFORNIA STORM WATER BMP HANDBOOK STANDARDS.
- STABILIZE SWALES, GULLIES, CHANNELS, CULVERTS, FIELD INLETS, AND OUTFALLS ON THE CONSTRUCTION SITE TO PREVENT EROSION.
- USE SEDIMENT CONTROLS AND FILTRATION TO REDUCE SEDIMENTATION FROM DEWATERING EFFLUENT. CONTROL THE USE AND PREVENT DISCHARGE TO STORM DRAINS OF ALL POTENTIAL POLLUTANTS. FOR EXAMPLE, PESTICIDES, PETROLEUM PRODUCTS, NUTRIENTS (PLANT WASTES), SOLID WASTES, AND CONSTRUCTION DISCHARGES FROM DEWATERING ACTIVITIES, STREET WASHING, AND PAVEMENT SAW CUTTING. INSTALL FILTER MATERIALS (SANDBAGS, FILTER FABRIC) AT ALL STORM DRAIN INLETS, WHICH DRAIN THE SITE. FILTERS SHALL BE MAINTAINED AND CHANGED REGULARLY TO ENSURE EFFECTIVENESS AND PREVENT FLOODING. DISPOSE OF FILTRATE PROPERLY.
- DUST CONTROL MEASURES:
  - 1) WATER ALL ACTIVE CONSTRUCTION AREAS NECESSARY TO CONTROL DUST.
  - 2) COVER STOCKPILES OF DEBRIS, SOILS OR OTHER MATERIAL IF BLOWN BY WIND.
  - 3) SWEEP ADJACENT PUBLIC RIGHT OF WAY AND STREET DAILY IF VISIBLE SOIL MATERIAL OR DEBRIS IS CARRIED ONTO THESE AREAS.
  - 4) COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF EBOARD.
  - 5) HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS.
  - 6) ENCLOSE, COVER, WATER TWICE DAILY OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.).
  - 7) INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF ONTO PUBLIC ROADWAYS.
  - 8) REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.
- PROVIDE 4" PERFORATED DRAIN PIPE AGAINST THE EXTERIOR GRADE BEAM AROUND ENTIRE STRUCTURE PER THE FOUNDATION SUBDRAIN RECOMMENDATIONS IN THE SOILS REPORT.



### DRAINAGE PLAN

SCALE: 1"=10'-0"

---> DENOTES SUBDRAIN PIPE TO BE 4" Ø PVC (SCHEDULE 40 MIN.), U.O.N.



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#### OWNER:

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No.	Date
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Project Name and Address

FANG/JIANG ADDITION  
180 Lakeview Way  
Redwood City, CA 94062

Sheet Title

DRAINAGE PLAN

Project	GE 2730	Sheet	
Date	12/22/2020		C2
Scale			

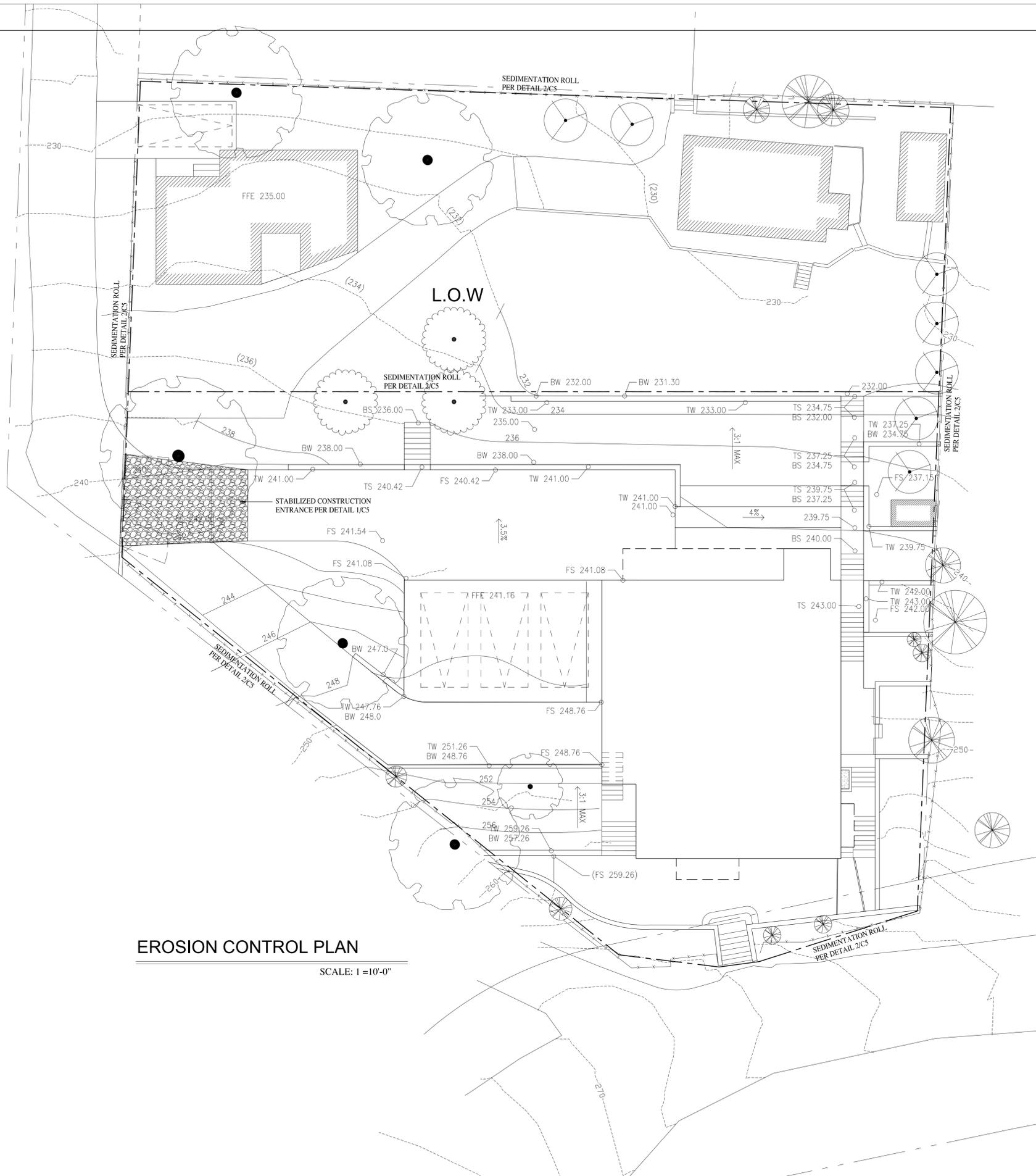
# EROSION CONTROL PLAN

## FANG/JIANG ADDITION

180 Lakeview Way, Redwood City, CA

### EROSION CONTROL & WATER QUALITY NOTES:

- NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
- BETWEEN OCTOBER 15TH AND APRIL 15TH EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. HAY BALES, FILTER BERMS, SITE FENCES OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING ANY WATER COURSE.
- THE CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE HANDBOOKS LATEST EDITION, AND THE STORMWATER POLLUTION PREVENTION PLAN PREPARED FOR THE PROJECT TITLED "STORMWATER POLLUTION PREVENTION PLAN."
- THE CONTRACTOR SHALL DESIGNATE ONE AREA (OR AREAS) OF THE CONSTRUCTION SITE WELL AWAY FROM ANY STREAMS, WETLAND RESTORATION AREA OR STORM BASIN INLETS FOR EQUIPMENT PARKING AND ROUTINE EQUIPMENT AND VEHICLE MAINTENANCE.
- ALL VEHICLES AND HEAVY EQUIPMENT SHALL BE INSPECTED FREQUENTLY FOR LEAKS. CLEAN UP SPILLED DRAY MATERIALS IMMEDIATELY, NOT WASHING THEM OR BURYING THEM.
- CLEAN UP LIQUID SPILLS ON PAVED AND IMPERVIOUS SURFACES USING "DRY" CLEAN UP METHODS. (I.E. ABSORBENT MATERIALS, RAGS)
- CLEAN UP SPILLS ON DIRT AREAS BY REMOVING AND PROPERLY DISPOSING OF CONTAMINATED SOIL.
- REPORT SIGNIFICANT SPILLS TO THE APPROPRIATE SPILL RESPONSE AGENCY. SEE THE STORM WATER POLLUTION PLAN PREPARED FOR THE PROJECT.
- WASH OUT CONCRETE MINER WITHIN DESIGNATED WASHOUT AREAS.
- THE CONTRACTOR SHALL KEEP CONTAMINANTS FROM FRESH CONCRETE AND ASPHALT OUT OF STORM DRAINS AND STREAMS AND WETLAND AREAS BY SCHEDULING PAVING JOBS AFTER PERIODS OF DRY WEATHER, ALLOWING NEW PAVEMENT TO CURE BEFORE STORM WATER FLOWS ACROSS IT.
- THE CONTRACTOR SHALL PROVIDE EQUIPMENT AND STAFFING FOR WATERING OF ALL EXPOSED OR DISTURBED SOIL SURFACES SUFFICIENT TO SUPPRESS DUST PLUMES, INCLUDING WEEKDAYS AND HOLIDAYS. AN APPROVED DUST PALLIATIVE OR SUPPRESSANT, ADDED TO WATER BEFORE APPLICATION, SHOULD BE UTILIZED. ALL TRUCKS HAULING EXPORT AND IMPORT MATERIALS SHALL BE PROVIDED WITH TARP COVER AT ALL TIMES. SPILLAGE OF HAUL MATERIALS AND MUD TRACKING ON THE HAUL ROUTES SHALL BE CONTROLLED AT ALL TIMES.
- THE CONTRACTOR SHALL MINIMIZE EARTH MOVING OR OTHER DUST-PRODUCING ACTIVITIES DURING PERIODS OF HIGH WINDS.
- SWEEP CONSTRUCTION AREA AND ADJACENT STREETS OF ALL MUD AND DEBRIS, SINCE THIS MATERIAL CAN BE PULVERIZED AND LATER SUSPENDED BY VEHICLE TRAFFIC.
- THE CONTRACTOR SHALL PAINT THE CURB AT ALL EXISTING & NEW INLETS "NO DUMPING - DRAINS TO CREEK."
- THE FACILITIES SHOWN HEREIN ARE DESIGNED TO CONTROL SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 THRU APRIL 15. AFTER GRADING HAS BEEN COMPLETED, MEASURES ARE TO BE OPERABLE PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- ALL BMP DOCUMENTS APPROVED FOR THIS PROJECT SHALL BE KEPT ON FILE AT THE JOB SITE.
- STRAW WATTLES FOR EROSION CONTROL SHALL BE RUN HORIZONTALLY ACROSS THE HILLSIDE AT 10' VERTICAL SPACING, AT THE TOE OF SLOPES, AND AT THE DOWNHILL EDGE OF DISTURBED SOIL OR GRADING ACTIVITIES. WATTLES OR OTHER MEASURES ARE REQUIRED TO CONTROL WATER FLOW DOWN THE DRIVEWAY.



### EROSION CONTROL PLAN

SCALE: 1"=10'-0"



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**FANG/JIANG ADDITION**  
 180 Lakeview Way  
 Redwood City, CA 94062

Sheet Title  
**EROSION CONTROL PLAN**

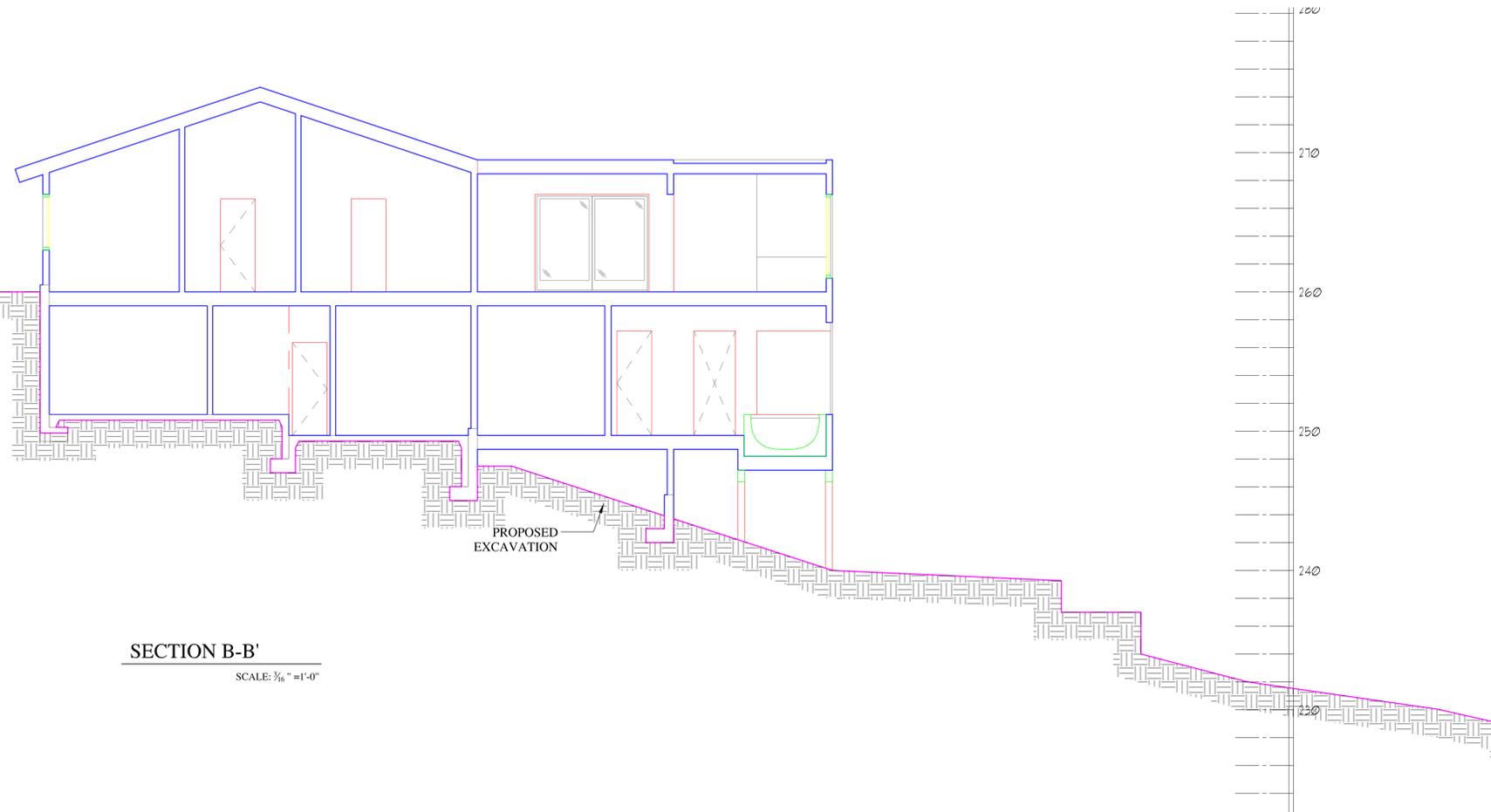
Project	GE 2730	Sheet	
Date	12/22/2020		C3
Scale			

+274.7' (E) T.O. ROOF

+260' (E) UPPER LVL F.F.

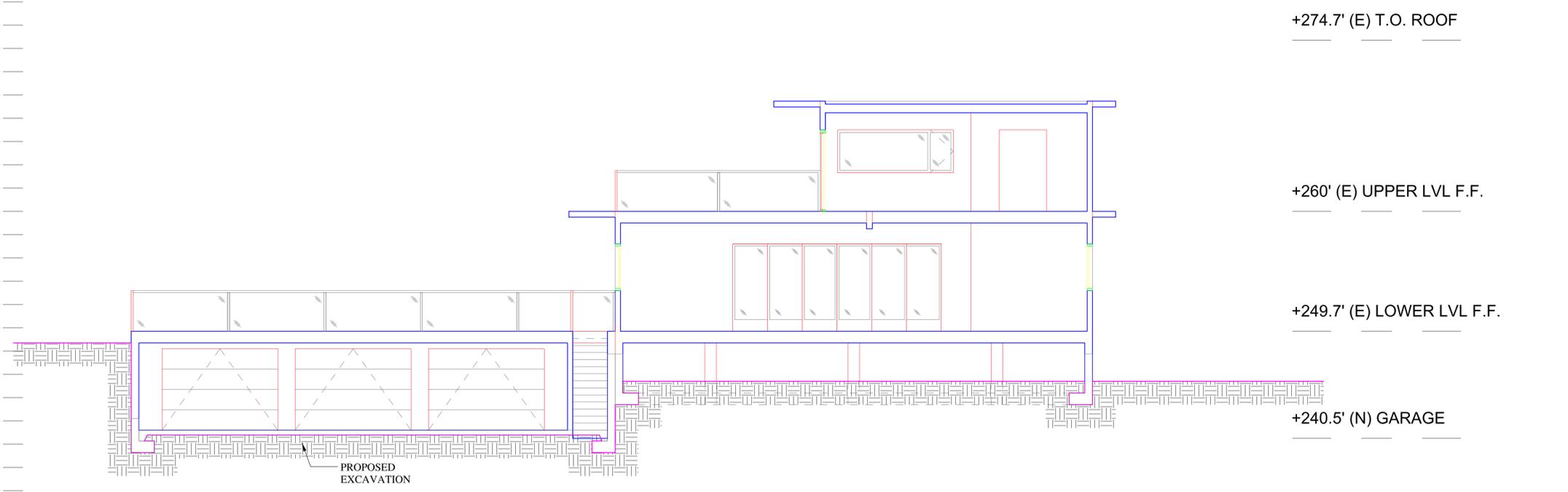
+249.7' (E) LOWER LVL F.F.

+240.5' (N) GARAGE



SECTION B-B'

SCALE: 3/16" = 1'-0"



SECTION A-A'

SCALE: 3/16" = 1'-0"

+274.7' (E) T.O. ROOF

+260' (E) UPPER LVL F.F.

+249.7' (E) LOWER LVL F.F.

+240.5' (N) GARAGE



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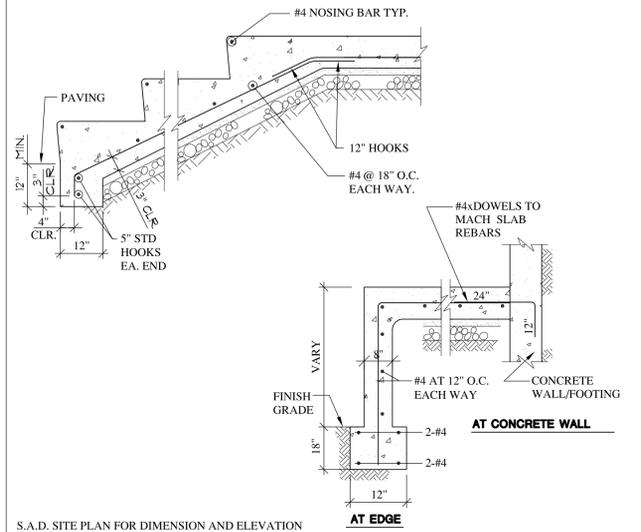
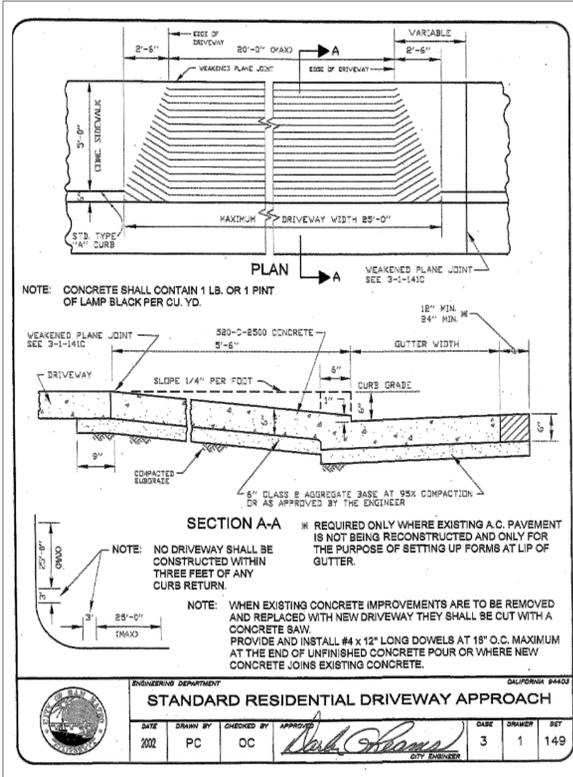
Project Name and Address

**FANG/JIANG ADDITION**  
180 Lakeview Way  
Redwood City, CA 94602

Sheet Title

**SECTIONS**

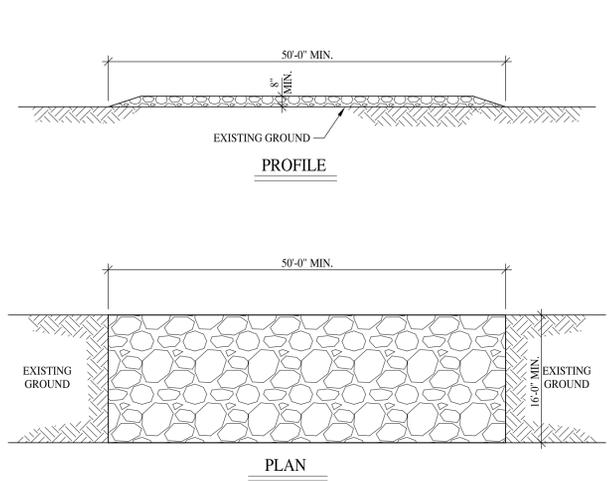
Project	GE 2730	Sheet	C4
Date	12/22/2020		
Scale			



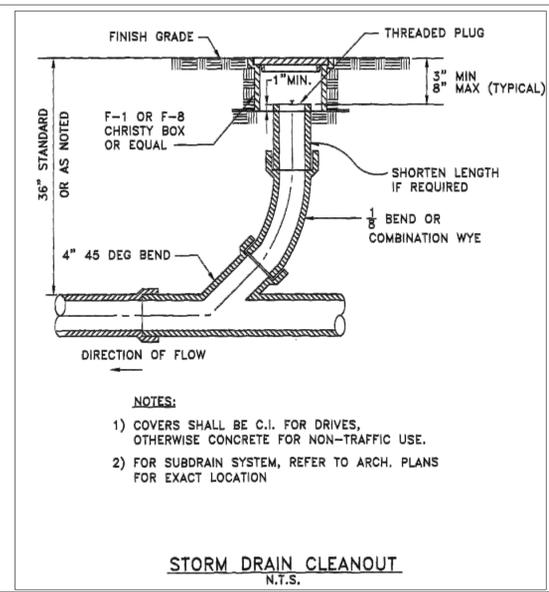
CONCRETE SITE STEP DETAIL 7

**NOTES:**

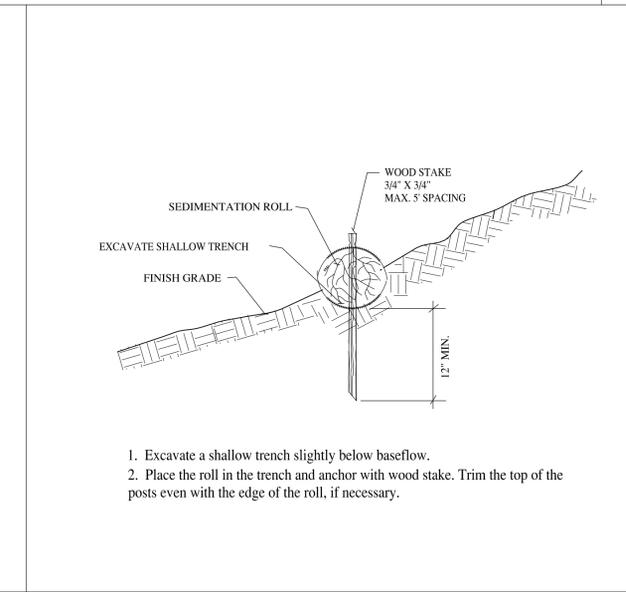
1. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3 TO 4 INCH STONE.
2. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 8 INCHES.
3. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
4. THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.
5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
6. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS



STABILIZED CONSTRUCTION ENTRANCE 1



8 5

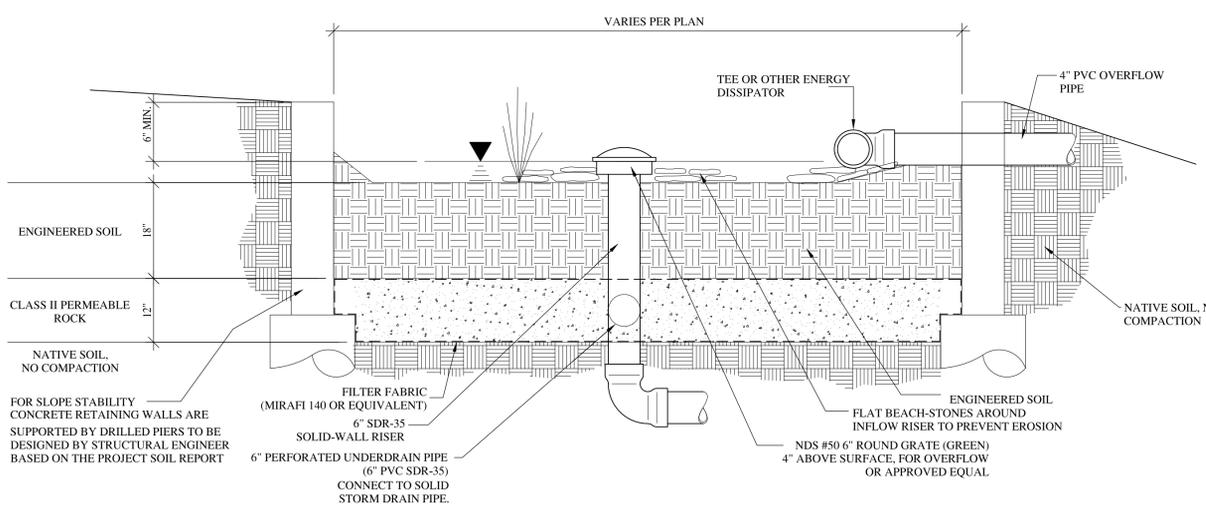


SEDIMENTATION ROLL DETAIL 2

STANDARD RESIDENTIAL DRIVEWAY APPROACH 10

**NOTES:**

1. SWALE SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MINIMUM SLOPE 0.2%
2. PLANTINGS MAY INCLUDE TREES, MINIMUM INFILTRATION RATE 5"/HR
3. ENGINEERED SOIL - USE TOPSOIL BLEND AS SPECIFIED IN THE MOST RECENT SAN MATEO COUNTY C.3 GUIDEBOOK
4. DO NOT CONNECT STORM DRAIN INFLOW PIPES TO UNDERDRAIN.
5. MINIMUM SLOPE MEASURED FROM TOP OF GRATE OF AREA DRAIN (OR DOWNSPOUT DRAIN) TO TOP OF EMITTER SHALL BE 1/8" (4" PIPE) OR 0.5"
6. MINIMUM INFLOW PIPE SLOPE SHALL BE 1% (4" PIPE) OR 0.5% (6" PIPE)
7. MINIMUM UNDERDRAIN PIPE SLOPE SHALL BE 0.5% (6" PIPE)
8. INSTALL PERFORATED PIPE WITH PERFORATIONS DOWN.
9. WRAP THE SIDES AND BOTTOM WITH 10 MIL PLASTIC OR APPROVED EQUAL
10. INSTALL CAPPED CLEANOUTS AT UNDERDRAIN ENDS.



BIORETENTION AREA FILTER TYPICAL SECTION 3



Jerry Yang, P.E.; G.E.

**OWNER:**

Zhou Fang & Xinyi Jiang

180 Lakeview Way  
Redwood City, CA 94602

Tel: (765) 237-2036  
Email: njiangdmd@gmail.com

No.	Date
-----	------

Project Name and Address

**FANG/JIANG ADDITION**  
180 Lakeview Way  
Redwood City, CA 94062

Sheet Title

**DETAILS**

Project	GE 2730	Sheet	
Date	12/22/2020		C5
Scale			

12





**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT E**

September 20, 2021

Zhou Fang  
180 Lakeview Way  
Redwood City, CA 94002

Dear Mr. Fang:

**SUBJECT: Emerald Lake Hills Design Review and Grading Permit Approval**  
180 Lakeview Way, Emerald Lake Hills  
APN 057-011-330; County File No. PLN 2020-00402

At the August 10, 2021 meeting, the Emerald Lake Hills Design Review Officer (DRO) considered your Design Review application for an addition of a 1,046 sq. ft., 3-car, attached garage and 1,210 sq. ft. first and second story addition, to an existing 2,432 sq. ft., non-conforming, single-family residence with a 9' 1" front yard setback on a 21,728 sq. ft. parcel, associated with a Non-Conforming Use Permit to allow a major addition. Three significant trees are proposed for removal. In addition, a Use Permit is required to allow 3 detached accessory buildings where one is the maximum and for the buildings' existing 1-foot right-side and zero-foot setback where three feet is required.

At the August hearing, one neighbor submitted correspondence and then spoke in opposition to the project. The neighbor stated that there were too many exceptions being sought, privacy concerns, and that too many trees were being removed for the project. The DRO explained that the Non-Conforming Use Permit request was not authorizing a non-conforming addition to the house, but that the existing house itself was non-conforming in terms of the front setback. The DRO stated that the reason for the exception request was the size of the addition, and the addition complied with zoning. The DRO also stated that proposed decks are located to the rear of the residence and are not close to the neighbor's property line, and therefore present a minimal privacy impact. Finally, the DRO stated that proposed tree removal is consistent with the tree removal regulations, as only trees in the footprint of the proposed development will be removed.

At the hearing, the DRO found that the addition complies with the design standard Section 6565.15.E (Facades), as the new garage does not front the street, there are no blank walls, and the window and door patterns are aesthetically pleasing and proportioned. The DRO stated that the proposed materials were consistent with design standards and that privacy was maintained with the proposed design, Section 6565.G.b (Materials and Colors). The DRO stated that prior to the hearing there had been conversations with the applicant about how the proposed stucco color did not sufficiently comply with the design standards and that



it should be less white and more beige or light gray. A new color was presented at the hearing, however this color selection is also whiter than the beige as recommended in Section 6565.15.G.a. and needs to be modified.

Two conditions of approvals have been added requiring modifications to make the existing and new portions of the project more unified. The first condition of approval, number five (5), requires that a new primary color be selected which will be used on both the new stucco and the existing siding. The second condition of approval, number six (6), requires that some additional aspects of the project be modified to better unify the addition with the existing house including use of a single roof material and a better mix of exterior materials to blend the addition with the existing portions of the house. All changes shall be submitted for review by the DRO prior to the Planning Commission hearing.

The DRO recommended approval of the proposal based on the findings and conditions as listed below.

## **FINDINGS**

### **For the Environmental Review, Find:**

1. This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15301, Class 1, relating to additions to structures of less than 10,000 sq. ft. in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive. The existing residence is served by water and sewer districts, and the project is located on a site that has been previously disturbed and is not environmentally sensitive.

### **For the Design Review, Find:**

2. After consideration of project plans and public testimony, the DRO found that the proposed house design, as proposed and conditioned on August 10, 2021, is in compliance with the Design Review Standards due to the incorporation of the following: (a) the use of materials and colors is compatible with the natural setting and the immediate area (b) facades are well-articulated and proportional, and (c) the site planning including minimization of tree removal and topography changes are consistent with the standards.

## **CONDITIONS OF APPROVAL**

### **Current Planning Section**

1. The project shall be constructed in compliance with the plans once approved by the Planning Commission. Any changes or revisions to the approved plans shall be

submitted for review by the Community Development Director to determine if they are in substantial compliance with the approved plans, prior to being incorporated into the building plans. Adjustments to the design of the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Adjustments to the design during the building permit stage may result in the assessment of additional plan resubmittal or revision fees. Alternatively, the Design Review Officer may refer consideration of the adjustments, if they are deemed to be major, to a new Emerald Lake Hills Design Review public hearing which requires payment of an additional fee of \$1,500.

2. Three significant trees (18" DBH Cedar, 12" DBH Redwood and 8" 9" 11" DBH Buckeye) are approved for removal. Trees designated to remain shall be protected from damage during construction. Any additional tree removal is subject to the San Mateo County Tree Ordinance and will require a separate permit for removal.
3. Three five (5) -gallon trees shall be planted prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to a final building permit sign-off by the Current Planning Section.
4. The applicant shall choose a different stucco color which is more beige or light gray (white is not allowed). Revised plans showing the proposed color and material application shall be submitted for review by the Design Review Officer prior to the Planning Commission hearing.
5. Materials (roof and exterior) shall be changed to improve the integration of the addition with the existing development. Changes made to the design to unify the addition shall be submitted for review by the Design Review Officer prior to the Planning Commission hearing.
6. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to a final building permit sign-off by the Current Planning Section.
7. Prior to the Current Planning Section approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).

8. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.

9. The applicant shall adhere to all requirements of the Building Inspection Section, the Department of Public Works, and the County Fire Department.
10. No site disturbance shall occur, including any grading or tree/vegetation removal, until a building permit has been issued.
11. To reduce the impact of construction activities on neighboring properties, comply with the following:
  - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles impede through traffic along the right-of-way on Lakeview Way. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Lakeview Way. There shall be no storage of construction vehicles in the public right-of-way.
12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays, and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).

13. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines" including, but not limited to, the following:
  - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
  - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - c. Performing clearing and earth-moving activities only during dry weather.
  - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
  - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
  - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
  - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilization of designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.

- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

#### Building Inspection Section

- 14. A building permit is required.
- 15. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Drainage Section for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Drainage Section for review and approval.

#### County Fire Department

- 16. Fire sprinklers shall be installed throughout the entire residence.
- 17. The project shall be designed and constructed according to the latest adopted and locally amended California Building Standards Code, which at the time of this review is the 2016 version.
- 18. Any chimney shall have installed onto the opening thereof a galvanized, approved spark arrester of a mesh not larger than one-half of an inch.
- 19. A fire flow of 875 gpm for 2 hours with a 20-psi residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on site.
- 20. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrester of a mesh with an opening no larger than 1/2 inch

in size or an approved spark arresting device. Maintain around and adjacent to such buildings or structures a fuel break/firebreak made by removing and cleaning away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures or to the property line, if the property line is less than 30 feet from any structure. This is not a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures. Remove that dead or dying portion of any tree which extends over the roof line of any structure.

21. Maintain around and adjacent to such buildings or structures a fuel break/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures, or to the property line, if the property line is less than 30 feet from any structure.
22. When receiving water service for fire protection (hydrants, fire sprinkler systems) from a public or municipal water purveyor, written certification from the water company that hydrants will be installed, or the existing water system is capable of meeting the project conditions is required to be presented to the San Mateo County Fire Dept. for verification to show that required upgrades to the system will be installed and that existing fire flows will meet the project requirements.
23. All roof assemblies in Very high Fire Hazard Severity Zones shall have a minimum CLASS-A fire resistive rating and be installed in accordance with the manufacturer's specifications and current California Building and Residential Codes.
24. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.
25. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Department for review and approval by the authority having jurisdiction.
26. An interior and exterior audible alarm activated by automatic fire sprinkler system water flow shall be required to be installed in all residential systems. All hardware must be included on the submitted sprinkler plans.
27. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.

28. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection to meet CRC R327 or CBC Chapter 7A requirements.
29. Fire Department access shall be to within 150 ft. of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 ft. wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 ft. on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%. When gravel roads are used, it shall be class 2 base or equivalent compacted to 95%. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.
30. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6" x 18" green reflective metal sign.
31. A 13D fire sprinkler system may be required; Building Inspection Section's safety score must be done to determine if fire sprinklers are required.
32. The closest fire hydrant location needs to be on building plans along with its fire flow if fire sprinklers are required.

#### Department of Public Works

33. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

34. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

If you have questions or need further information, please contact me at [eadams@smcgov.org](mailto:eadams@smcgov.org) or 650/363-1828.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,



Erica D. Adams  
Design Review Officer

EDA:cmc – ED AFF0814\_WCN.DOCX

CC: Peter Suen- Architect  
Interested Member of Public



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT F**

# Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650- 515-9783

August 10, 2020, Revised June 24<sup>th</sup>, 2021

Mr. Joe Fang  
180 Lakeview  
Redwood City, CA 94062

Site: 180 Lakeview, Redwood City, CA

Dear Mr. Fang,

As requested on Friday, July 31, 2020, and again on Monday, June 21<sup>st</sup>, 2021, I visited the above site for the purpose of inspecting and commenting on the trees. A new home remodel and an ADU is planned for this site and your concern as to the future health and safety has prompted this visit.

## Method:

All inspections were made from the ground; the tree was not climbed for this inspection. The trees were located on a map provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The tree was given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.



1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

**Poorly formed buckeye #1 with cedar #2 to the rear.**

*S-Indicates Significant Tree (Protected) by county ordinance*

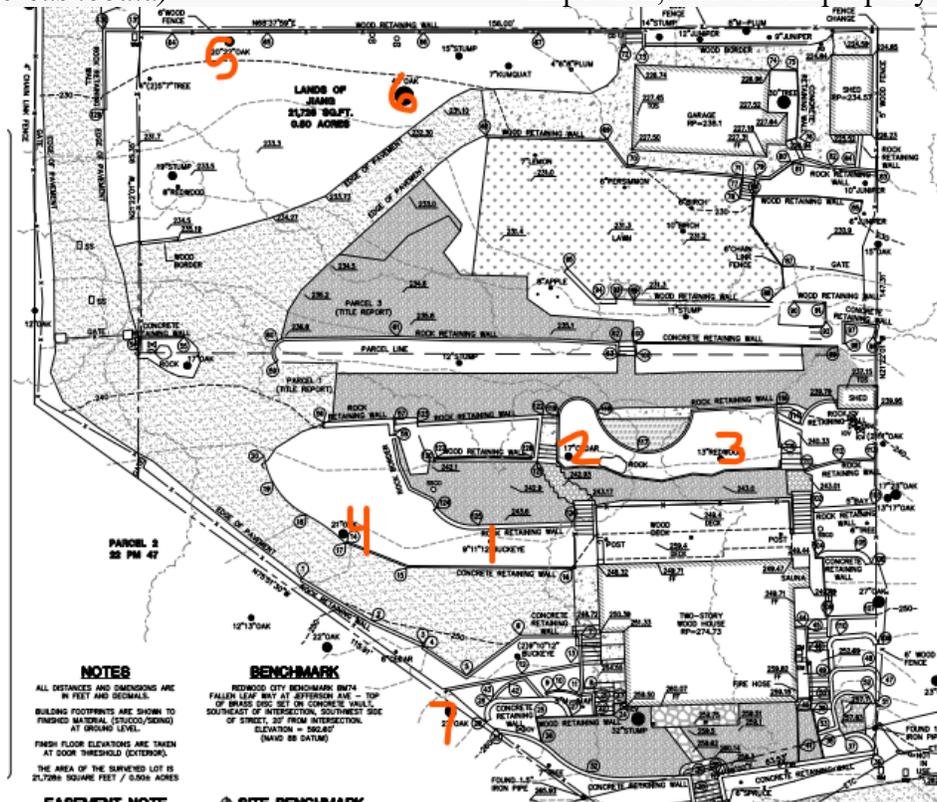
**R**-Indicates proposed tree removal

180 Lakeview

(2)

**Survey:**

Tree#	Species	DBH	CON	HT/SP	Comments
1R	Buckeye ( <i>Aesculus californica</i> )	8.3-9.7-11.1	45	30/40	Fair vigor, poor form, multi leader at base with poor crotch formations. Decay in Southern leader.
2S/R	Incense cedar ( <i>Calocedrus decurrens</i> )	17.9	60	45/35	Good vigor, fair form, near stairs. Fringe raised to 25 feet.
3R	Redwood ( <i>Sequoia sempervirens</i> )	11.5	60	40/30	Good vigor, fair form, close to construction.
4S	Valley oak ( <i>Quercus lobata</i> )	21.1	55	35/45	Good vigor, poor-fair form, heavy lean to north.
5S	Coast live oak ( <i>Quercus agrifolia</i> )	20-22	55	45/45	Fair vigor, poor-fair form, codominant at base with poor crotch formation.
6S	Coast live oak ( <i>Quercus agrifolia</i> )	40.6	50	45/55	Fair vigor, poor form, multi leader at 6 feet.
7* S	Valley oak ( <i>Quercus lobata</i> )	27est	70	40/35	Good vigor, good form, limited visual inspection, 2 feet from property line.



Showing locations



**Tree Protection Plan:**

## Tree protection fencing

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should consist of 5-foot tall, orange plastic fencing supported by poles pounded into the ground, located at the driplines where possible. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips.

## Trenching and excavation

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below

## Irrigation

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

## Tree Pruning

All tree pruning should be carried out by a licensed tree care provider. The work will be inspected and overseen by the project arborist. All Pruning will be within ANSI standards and Best Management Practices.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty

Certified Arborist WE#0476A *Kevin Kielty*



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT G**



Picture 1: Existing Front Elevation



Picture 2: Existing Rear Elevation



**Picture 3:** Existing fence (6-foot tall)



**Picture 4:** Existing fence (6-foot tall)



Picture 5: Detached Accessory Structure (shed 3)



Picture 6: Existing Utilities (shed 3)



Picture 7: Existing Utilities (shed 3)



Picture 8: Existing Utilities (shed 3)



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT H**

## Sonal Aggarwal

---

**From:** Erica Adams  
**Sent:** Wednesday, September 15, 2021 12:35 PM  
**To:** Sonal Aggarwal  
**Subject:** RE: 180 Lakeview Way

This was one too.

---

**From:** Hurchanik, Chris <CHurchanik@cbtnorcal.com>  
**Sent:** Tuesday, August 10, 2021 1:20 PM  
**To:** Erica Adams <eadams@smcgov.org>  
**Subject:** 180 Lakeview Way

**CAUTION:** This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

---

Dear Erica Adams,

My wife, Yoli, sent you a message regarding #2 PLN2020-00402, at 180 Lakeview Way. I disagree about what is happening and you have not responded to our disagreement?

**\*Wire Fraud is Real\***. Before wiring any money, call the intended recipient at a number you know is valid to confirm the instructions. Additionally, please note that the sender does not have authority to bind a party to a real estate contract via written or verbal communication.

## Sonal Aggarwal

---

**From:** Erica Adams  
**Sent:** Wednesday, September 15, 2021 12:35 PM  
**To:** Sonal Aggarwal  
**Subject:** FW: #2 File#PLN2020-00402 180 Lakeview Way

Here is the neighbor's letter.

---

**From:** Hurchanik, Chris <CHurchanik@cbtnorcal.com>  
**Sent:** Tuesday, August 10, 2021 1:42 PM  
**To:** Erica Adams <eadams@smcgov.org>  
**Subject:** #2 File#PLN2020-00402 180 Lakeview Way

**CAUTION:** This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

---

I do not like your recommendation I am the neighbor next door !86 Lakeview Way. It is non-conforming so that means no building as being referred to in the application to Parcel # 057-011-330. I do not think you can just send out a notice a few days ago and push this application through. You talk about cutting 3 trees What kind of tree are you going to cut Heritage oaks, Sequoia trees Redwood trees the tree does not what to be cut no tree wants to be cut. enough trees are being destroyed, butchered. I disagree to 3 detached building, I disagree to zero-foot right-side setback. I disagree to a Non-Conforming Use Permit.

**\*Wire Fraud is Real\*. Before wiring any money, call the intended recipient at a number you know is valid to confirm the instructions.** Additionally, please note that the sender does not have authority to bind a party to a real estate contract via written or verbal communication.



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT I**

## Sonal Aggarwal

---

**From:** Joe Fang <alex420@gmail.com>  
**Sent:** Monday, September 27, 2021 9:34 AM  
**To:** Sonal Aggarwal  
**Cc:** Xinyi Jiang  
**Subject:** Re: outstanding comment for PLN2020-00402

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**CAUTION:** This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

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Hi Sonal,

I just went to check out the 3rd shed and did some investigation this weekend. I would also like to add some comments on why we need to keep the 3rd shed. (i can send you photos later)

1. The back of the 3rd shed is actually part of the fence, tearing it down means we need to replace a big portion of the fence. Which may result in neighbor issues as fences should be a mutual asset for both properties. We already have a tight relationship with our neighbor and we would love not to add more conflict. I actually mentioned them a while ago to replace the fence behind the 2nd shed (30ft-50ft of fence is very old and is not consistent with other fences), they didn't look like they wanted to change it.
2. The shed contains electricity that feeds the 2nd shed and garage, tearing it down might result in a lot of electrical work that does not need to be done.
3. The shed also has a controller for the irrigation system and landscaping timer etc. The flood light for our back yard gate (easement) also gets the electricity from this shed. Tearing this down, we might have to find a place to put all of these but our house is too far away from the landscape area, which is not ideal for an irrigation system and light controller.

Best Regards,  
Joe

On Fri, Sep 24, 2021 at 3:20 PM Sonal Aggarwal <[saggarwal@smcgov.org](mailto:saggarwal@smcgov.org)> wrote:

Hi Joe,

Yes, Janneth (PC Secretary) in our Department coordinates that. She or I will contact you before the hearing. Let me know if you have any more questions in the meanwhile.

Regards,